



13 November 2025

Dear Councillor,

Your attendance is requested at an Ordinary Council Meeting of the Blayney Shire Council to be held in the Chambers, Blayney Shire Community Centre on Tuesday, 18 November 2025 at 6.00pm for consideration of the following business -

- (1) Livestreaming Video and Audio Check
- (2) Acknowledgement of Country
- (3) Recording of Meeting Statement
- (4) Statement of Ethical Obligations
- (5) Apologies for non-attendance
- (6) Disclosures of Interest
- (7) Public Forum
- (8) Mayoral Minute
- (9) Confirmation of Minutes - Ordinary Council Meeting held on 28.10.25
- (10) Matters arising from Minutes
- (11) Reports of Staff
 - (a) Executive Services
 - (b) Corporate Services
 - (c) Infrastructure Services
 - (d) Planning and Environmental Services

Mark Dicker
General Manager

Meeting Calendar 2025

November

12.00pm	12-13 November 2025	Central NSW Joint Organisation Board Meeting	Sydney
9.00am	13 November 2025	Audit, Risk and Improvement Committee Meeting	Online
9.00am	14 November 2025	Country Mayors	Sydney
6.00pm	18 November 2025	Council Meeting	Community Centre
10.00am	19 November 2025	Central Tablelands Water Meeting	Canowindra
9.00am	21 November 2025	Mining and Energy Related Councils Meeting	Forbes
9.00am	23-25 November 2025	LGNSW Annual Conference	Penrith
8.30am	26 November 2025	Orange360 Board Meeting	Community Centre

December

<u>Time</u>	<u>Date</u>	<u>Meeting</u>	<u>Location</u>
10.00am	5 December 2025	Local Transport Forum	Community Centre
2.00pm	12 December 2025	Central Tablelands Weeds Authority Meeting	Bathurst
6.00pm	16 December 2025	Council Meeting	Community Centre
10.00am	17 December 2025	Central Tablelands Water Meeting	Blayney

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HELD ON TUESDAY 18 NOVEMBER 2025

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LIVE STREAMING OF COUNCIL MEETINGS

In accordance with the Blayney Shire Council Code of Meeting Practice, this meeting will be recorded for the purpose of the live streaming function via our YouTube channel. The audio and visual live stream and recording, will allow members of the public to view proceedings via the Internet without the need to attend Council meetings. The objective of this service is to eliminate geographic and other access barriers for the community wishing to learn more about Council's decision making processes.

By speaking at the Council Meeting you agree to be livestreamed and recorded. Please ensure that if and when you speak at this Council Meeting that you ensure you are respectful to others and use appropriate language at all times.

Whilst Council will make every effort to ensure that live streaming is available, it takes no responsibility for, and cannot be held liable for technical issues beyond its control. Technical issues may include, but are not limited to the availability or quality of the internet connection, device failure or malfunction, unavailability of YouTube or power outages.

Live streams and archived recordings are a free public service and are not an official record of Council meetings. Recordings will be made of all Council meetings (excluding confidential items) and published to YouTube the day after the meeting. For a copy of the official public record, please refer to Council's Business Papers and Minutes page on Council's website.

Council does not accept any responsibility for any verbal comments made during Council meetings which may be inaccurate, incorrect, defamatory, or contrary to law and does not warrant nor represent that the material or statements made during the streamed meetings are complete, reliable, accurate or free from error.

Live streaming is primarily set up to capture the proceedings of the Council meeting and members of the public attending a Council meeting need to be aware they may be recorded as part of the proceedings.

STATEMENT OF ETHICAL OBLIGATIONS

Councillors are reminded of their oath or affirmation of office made under section 233A of the Local Government Act and their obligations under the Council's Code of Conduct to disclose and appropriately manage conflicts of interest.

01) MINUTES OF THE PREVIOUS COUNCIL MEETING HELD 28 OCTOBER 2025**Department:** Executive Services**Author:** General Manager**CSP Link:** 1. Prioritise transparency, financial sustainability and strong partnerships with and for our community**File No:** GO.ME.3**Recommendation:**

That the Minutes of the Ordinary Council Meeting held on 28 October 2025, being minute numbers 2510/001 to 2510/024 be confirmed.

MINUTES OF THE BLAYNEY SHIRE COUNCIL ORDINARY MEETING HELD IN THE CHAMBERS, BLAYNEY SHIRE COUNCIL COMMUNITY CENTRE, ON 28 OCTOBER 2025, COMMENCING AT 6.03PM

Present: Crs B Reynolds (Mayor), R Scott (Deputy Mayor), I Dorsett, C Gosewisch, K Hutchings, S Johnston and J Newstead

Acting General Manager (Mr J Hogan), Director Corporate Services (Mr A Franze), Acting Director Infrastructure Services (Mr J Cummings), Director Planning & Environmental Services (Mr A Muir), Executive Assistant to the General Manager (Mrs L Ferson) and IT Officer (Mr K Proctor)

RECORDING OF MEETING STATEMENT**ACKNOWLEDGEMENT OF COUNTRY****DISCLOSURES OF INTEREST**

The General Manager reported the following Disclosure of Interest forms had been submitted:

Councillor /Staff	Interest	Item	Pg	Report	Reason
Cr Dorsett	Non Pecuniary (Less than Significant)	13	90	Minutes of the Financial Assistance Committee Meeting held 14 October 2025	Vice President of Blayney Shire Local and Family History Group who are a potential recipient of funding.
Cr Dorsett	Non Pecuniary (Less than Significant)	16	106	Development Assessment Report	Son applicant of pending subdivision.

Cr Newstead	Non Pecuniary (Less than Significant)	17	113	DA2025/0008 Centre Based Child Care (Early Education Facility) & Subdivision (Boundary Adjustment) on Lots 9 & 10 in DP 6146, 99 Forest Reefs Road, Millthorpe	Nephew owns the other Child Care Centre in Millthorpe.
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MAYORAL MINUTE

MAYORAL MINUTE - UPDATE ON THE MCPHILLAMYS PROJECT AT KINGS PLAINS

2510/001

RESOLVED:

That Council notes the latest update on the McPhillamys Project at Kings Plains.

(Reynolds)

CARRIED

LATE MAYORAL MINUTES

MAYORAL MINUTE - BELUBULA WATER SECURITY PROJECT SHORTLIST OF POTENTIAL PROJECT OPTIONS

2510/002

RESOLVED:

That Council note the three shortlisted options and provides feedback on future business developments in the Shire.

(Reynolds)

CARRIED

MAYORAL MINUTE - MILLTHORPE JUNIOR SOCCER CLUB NSW COMMUNITY CLUB OF THE YEAR

2510/003

RESOLVED:

That Council notes the achievement of the Millthorpe Junior Soccer Club in being awarded the NSW Football Community Club of the Year.

(Reynolds)

CARRIED

CONFIRMATION OF MINUTES

MINUTES OF THE PREVIOUS COUNCIL MEETING HELD 23 SEPTEMBER 2025

2510/004

RESOLVED:

That the Minutes of the Ordinary Council Meeting held on 23 September 2025, being minute numbers 2509/001 to 2509/018 be confirmed.

(Gosewisch/Hutchings)

CARRIED

MATTERS ARISING FROM THE MINUTES

Nil

EXECUTIVE SERVICES REPORTS

- 2510/005** **QUARTERLY OUTSTANDING RESOLUTION REPORT**
RESOLVED:
 That Council note the Outstanding Resolution Report to September 2025.
 (Newstead/Gosewisch)
CARRIED

- 2510/006** **AUSTRALIA DAY COMMITTEE**
RESOLVED:
 That Council:
 1. Note the review of the Australia Day Committee composition undertaken.
 2. Approve the composition of the Blayney Shire Council Australia Day Committee to be:
 • The Mayor,
 • A Councillor,
 • President of the Blayney Rotary Club,
 • President of the Blayney View Club,
 • The current year's Citizen of the Year recipient.
 3. Appoint Councillor Newstead to the Blayney Shire Council Australia Day Committee for the term of this Council.
 (Scott/Gosewisch)
CARRIED

CORPORATE SERVICES REPORTS

- 2510/007** **2024/25 AUDITED FINANCIAL STATEMENTS**
RESOLVED:
 That Council adopt the 2024/25 Financial Statements and accept the Auditor's Report, as submitted by the NSW Audit Office.
 (Newstead/Gosewisch)
CARRIED

PRESENTATION

Presentation of Financial Statements – Katy Henry from Intentus and Farisha Ali from the NSW Audit Office.

- 2510/008** **2024/25 ANNUAL REPORT**
RESOLVED:
 That Council endorse the 2024/25 Annual Report for lodgement with the Office of Local Government.
 (Newstead/Gosewisch)
CARRIED

**REPORT OF COUNCIL INVESTMENTS AS AT 30
SEPTEMBER 2025**

2510/009

RESOLVED:

That Council:

1. Note the report indicating Council's investment position as of 30 September 2025.

2. Note the certification of the Responsible Accounting Officer.

(Scott/Gosewisch)

CARRIED

**CODE OF CONDUCT COMPLAINTS FOR REPORTING
PERIOD**

2510/010

RESOLVED:

That Council receive the report on Code of Conduct complaints for the reporting period to 31 August 2025.

(Scott/Hutchings)

CARRIED

**DISCLOSURES OF INTEREST BY COUNCILLORS AND
DESIGNATED PERSONS**

2510/011

RESOLVED:

That Council receive the "Disclosures by Councillors and Designated Persons" Returns for the period ending 30 June 2025.

(Newstead/Gosewisch)

CARRIED

DRAFT CODE OF MEETING PRACTICE

2510/012

RESOLVED:

That Council endorse the draft Code of Meeting Practice and place it on public exhibition for a period of not less than 42 days.

(Gosewisch/Newstead)

CARRIED

ENDORSEMENT OF COUNCIL POLICIES

2510/013

RESOLVED:

That Council;

1. Endorse the following policies and place them on public exhibition for a period of not less than 28 days.

Policy Name
Modern Slavery Prevention Policy
Community Land Management Plan
Council Development – Conflict of Interest Policy
Unreasonable and Unreasonably Persistent Customer Policy
Cyber Security Framework

2. Provided no submissions are received, adopt the policies and update Council's Policy Register.

(Dorsett/Scott)

CARRIED

IMPENDING VACANCY - AUDIT RISK AND IMPROVEMENT COMMITTEE

2510/014

RESOLVED:

That Council;

1. Note the report on the Impending Vacancy - Audit, Risk Improvement Committee.
2. Appoint Ron Gillard as the Independent Chairperson of the Audit, Risk and Improvement Committee Independent, from the CNSWJO Regional Panel for Audit, Risk Improvement Committee Independent Members, for one term effective from 15 February 2026 to 14 February 2030.

(Newstead/Gosewisch)

CARRIED

Cr Dorsett, having declared an interest, left the Chambers.

MINUTES OF THE FINANCIAL ASSISTANCE COMMITTEE MEETING HELD 14 OCTOBER 2025

2510/015

RESOLVED:

That Council;

1. Receive the minutes of the meeting held 14 October 2025.
2. Note the approvals of fee waivers under delegation by the General Manager, in the amount of \$1,635.
3. Approve the recommendations for 2025/26 – Round 1 of the Community Financial Assistance Program by the Financial Assistance Program Committee, in the amount of \$28,272 being:

No.	Applicant	\$
2	Blayney Shire Local & Family History Group	500
3	National All Breeds Junior Heifer Show	3,000
4	Newbridge Progress Association	1,560
5	Neville Equine Performance Inc.	2,750
6	WDC - Working Dog Challenge	2,251
7	Country Education Foundation of Orange and District	5,000
8	Blayney Town Association	3,000
9	Mandurama Public Hall Reserve Trust	9,921
10	Blayney Junior Soccer Club	290

4. Note that Round 2 of funding available will be reduced to remain within the 2025/26 approved budget.
5. Note that no funding be allocated for Flagship funding and feedback be provided to applicants as outlined in assessment table.

(Scott/Newstead)

CARRIED

Cr Dorsett returned to the Chambers.

INFRASTRUCTURE SERVICES REPORTS

INFRASTRUCTURE SERVICES MONTHLY REPORT

2510/016

RESOLVED:

That Council note the Infrastructure Services Monthly Report for October 2025.

(Gosewisch/Hutchings)

CARRIED

LAND ACQUISITION - ERROWANBANG ROAD - DP1231139

2510/017

RESOLVED:

That Council approve:

1. The compulsory acquisition of Lots 5 and 8 in DP1231139, registered 23 May 2017; and
2. The making of an Application to the Minister for Local Government and the Governor for approval of such compulsory acquisition; and
3. Upon acquisition, the land be classified as “operational land” under s.31 of the Local Government Act 1993; and
4. The execution on all documents associated with the compulsory acquisition for Lots 5 and 8 DP1231139, under Council seal, by the Mayor and General Manager.

(Scott/Gosewisch)

CARRIED

Cr Dorsett, having declared an interest, left the Chambers.

PLANNING AND ENVIRONMENTAL SERVICES REPORTS

DEVELOPMENT ASSESSMENT REPORT

2510/018

RESOLVED:

That the Development Assessment Report be received and noted.

(Scott/Hutchings)

CARRIED

Cr Dorsett returned to the Chambers.

Cr Newstead, having declared an interest, left the Chambers.

DA2025/0008 CENTRE BASED CHILD CARE (EARLY EDUCATION FACILITY) & SUBDIVISION (BOUNDARY ADJUSTMENT) ON LOTS 9 & 10 IN DP 6146, 99 FOREST REEFS ROAD, MILLTHORPE

2510/019

RESOLVED:

That Council:

1. Support the variation to the Blayney Development Control Plan 201, F3.2 Access to Battle-Axe Lots that requires a minimum 2.4m wide sealed or concrete pavement the full length of the access handle in accordance with Council's Guidelines for *Engineering Works (as amended)* prior to the release of the Subdivision Certificate; and
2. Consent to Development Application 2025/0008 for the Construction of a Centre Based Child Care (Early Education Facility) & Subdivision (Boundary Adjustment) on Lots 9 & 10 in DP 6146, 99 Forest Reefs Road, Millthorpe subject to draft conditions of consent.

(Scott/Hutchings)

The **DIVISION** was taken and the names of the Councillors voting FOR and AGAINST were as follows:

FOR

AGAINST

Councillor Reynolds
Councillor Gosewisch
Councillor Dorsett
Councillor Hutchings
Councillor Scott
Councillor Johnston

Total (6)

Total (0)

CARRIED

Cr Newstead returned to the Chambers.

**DA2024/0063 - DETACHED DUAL OCCUPANCY AND 2 LOT
SUBDIVISION - 24 KNOX PLACE, MILLTHORPE**

2510/020

RESOLVED:

That development consent be granted to Development Application 2024.0063 for the erection of a dual occupancy and a two-lot subdivision at Lot 11, DP 1291217, 24 Knox Place, Millthorpe subject to the conditions outlined in the assessment report attached to the business paper.

(Gosewisch/Newstead)

The **DIVISION** was taken and the names of the Councillors voting FOR and AGAINST were as follows:

FOR

AGAINST

Councillor Reynolds
Councillor Newstead
Councillor Gosewisch
Councillor Dorsett
Councillor Hutchings
Councillor Scott
Councillor Johnston
Total (7)

Total (0)

CARRIED

DELEGATES REPORTS

**CANOBOLAS ZONE NSW RURAL FIRE SERVICE BUSH FIRE
LIAISON COMMITTEE DELEGATE REPORT**

2510/021

RESOLVED:

That Council receive and note the Canobolas Zone NSW Rural Fire Service Liaison Committee delegate report.

(Dorsett/Newstead)

CARRIED

CLOSED MEETING

2510/022

RESOLVED:

That the meeting now be closed to the public in accordance with Section 10A of the Local Government Act, 1993 for consideration of the following matter:

**LEASE OF PART LOT 24 IN DP1288588 - CHURCH HILL,
BLAYNEY**

This matter is considered to be confidential under Section 10A(2) (e) of the Local Government Act, as it deals with information that would, if disclosed, prejudice the maintenance of law.

Gosewisch/Scott)

CARRIED

CONFIDENTIAL MEETING REPORTS

**LEASE OF PART LOT 24 IN DP1288588 - CHURCH HILL,
BLAYNEY**

2510/023

RESOLVED:

That Council;

1. Note the report on the lease of Part Lot 24 DP 1288588, Blayney (Church Hill, Blayney).
2. Endorse execution of the 5 x 5-year leases of Part Lot 24 DP 1288588, Blayney (Church Hill, Blayney) to Bathurst Broadcasters Pty Ltd by the Mayor and General Manager.

(Gosewisch/Newstead)

CARRIED

2510/024

RESOLVED:

That as consideration of the matters referred to in the closed meeting has been concluded, the meeting now be opened to the public.

(Hutchings/Gosewisch)

CARRIED

**AT THE RE-OPENING OF THE MEETING TO THE PUBLIC, THE MAYOR
ANNOUNCED THE OUTCOME OF RESOLUTION NUMBER 2510/023.**

There being no further business, the meeting concluded at 7.38pm.

The Minute Numbers 2510/001 to 2510/024 were confirmed on 18 November 2025 and are a full and accurate record of proceedings of the Ordinary Meeting held on 28 October 2025.

Cr B Reynolds
CHAIR

02) REPORT OF COUNCIL INVESTMENTS AS AT 31 OCTOBER 2025

Department: Corporate Services

Author: Chief Financial Officer

CSP Link: 1. Prioritise transparency, financial sustainability and strong partnerships with and for our community

File No: FM.AU.1

Recommendation:

That Council:

1. Note the report indicating Council's investment position as of 31 October 2025.
2. Note the certification of the Responsible Accounting Officer.

Reason for Report:

For Council to endorse the Report of Council Investments as of 31 October 2025.

Report:

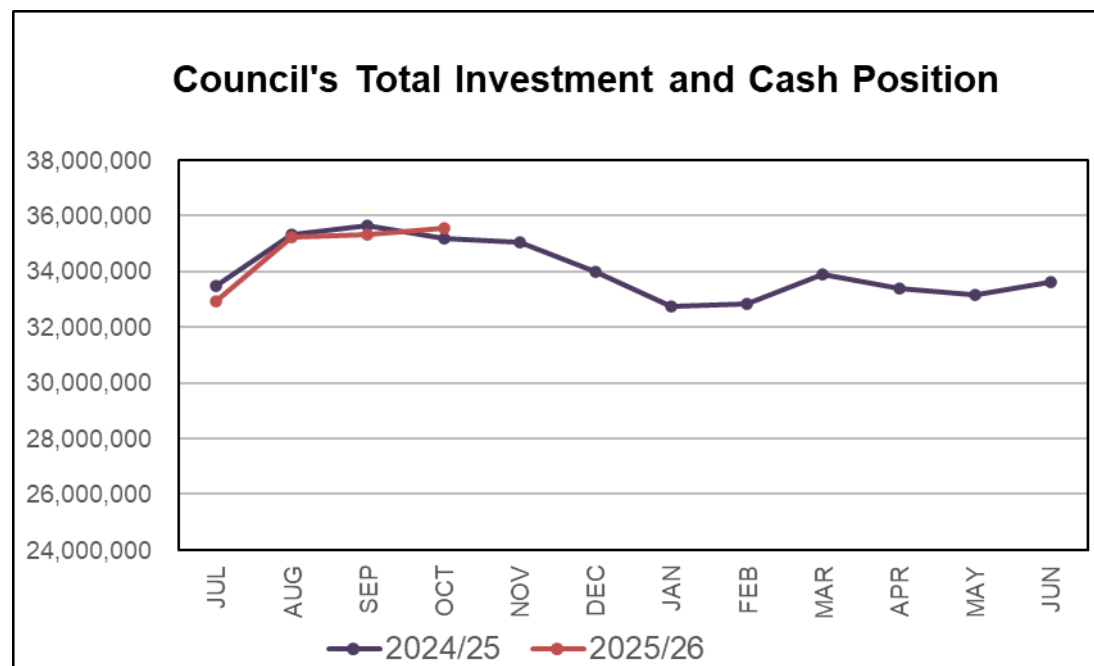
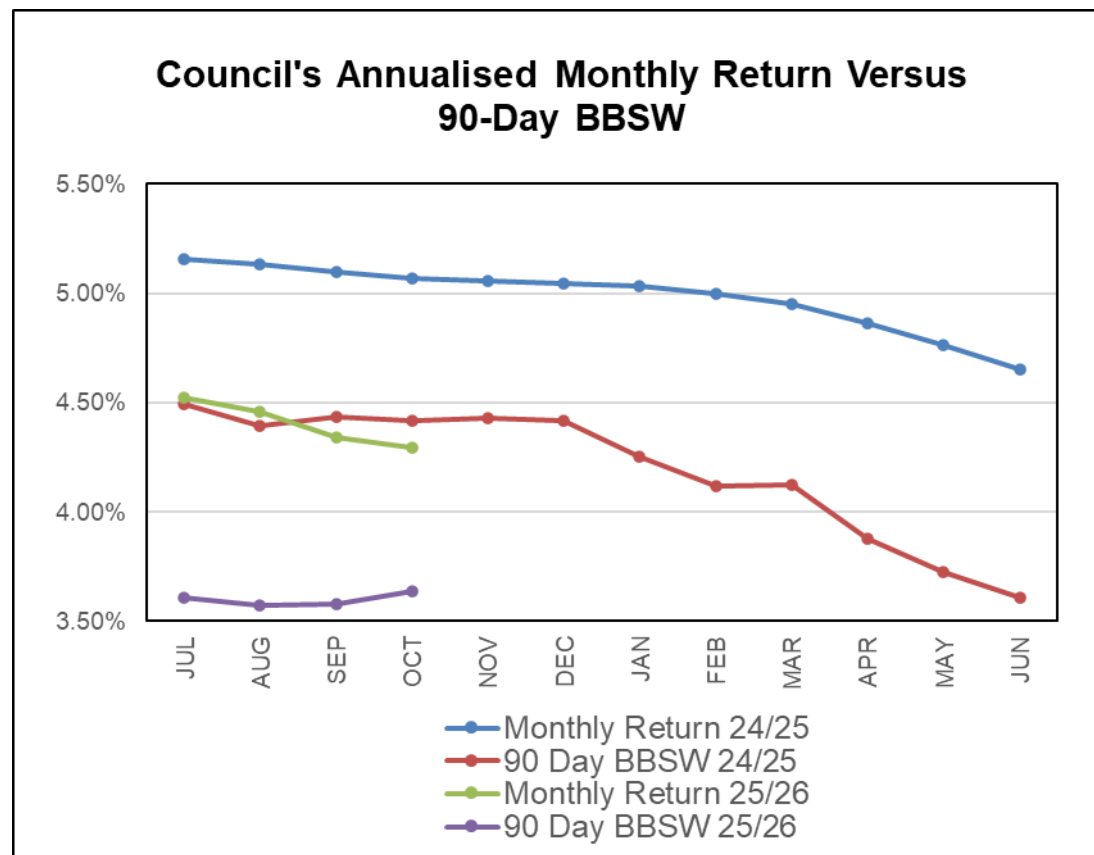
This report provides details of Council's Investment Portfolio as of 31 October 2025.

Council's total investment and cash position as of 31 October 2025 is \$35,533,874.

Interest on cash and investments accrued for the month of October was \$124,349. Year to date the total interest accrued on cash and investments is \$501,422.

Council's monthly net return on Term Deposits (annualised) for October was 4.29% which outperformed the 90-day Bank Bill Swap Rate of 3.64%.

There were no significant cash inflows from grant funded programs for the month of October. A significant portion of rating revenue for the 2nd quarter instalment due 30 November 2025 was receipted in October.



Register Of Investments and Cash as of 31 October 2025					
Institution	Method	Rating	Maturity	Amount \$	Interest Rate
Westpac	Direct	A1+/AA-	04/11/2025	500,000	4.080%
NAB	Direct	A1+/AA-	04/11/2025	500,000	4.800%
Westpac	Direct	A1+/AA-	11/11/2025	500,000	5.150%
NAB	Direct	A1+/AA-	18/11/2025	500,000	4.690%
Bank of Queensland	Curve	A2/A-	25/11/2025	500,000	4.250%
Westpac	Direct	A1+/AA-	25/11/2025	500,000	4.620%
MyState Bank Ltd	Curve	A2/BBB+	02/12/2025	500,000	5.100%
Auswide Bank Ltd	IAM	A2/BBB+	09/12/2025	500,000	4.250%
Auswide Bank Ltd	IAM	A2/BBB+	09/12/2025	500,000	5.110%
IMB Bank Ltd	Direct	A2/BBB+	16/12/2025	500,000	4.100%
Bank of Queensland	Curve	A2/A-	16/12/2025	500,000	4.650%
Westpac	Direct	A1+/AA-	06/01/2026	500,000	4.580%
B & A Bank	Curve	A2/A-	13/01/2026	500,000	4.100%
NAB	Direct	A1+/AA-	13/01/2026	500,000	4.290%
Westpac	Direct	A1+/AA-	20/01/2026	500,000	4.090%
NAB	Direct	A1+/AA-	20/01/2026	500,000	4.280%
Bank of Queensland	Curve	A2/A-	27/01/2026	500,000	4.250%
NAB	Direct	A1+/AA-	27/01/2026	500,000	4.900%
CBA	Direct	A1+/AA-	03/02/2026	500,000	4.110%
NAB	Direct	A1+/AA-	03/02/2026	500,000	4.300%
NAB	Direct	A1+/AA-	10/02/2026	500,000	4.300%
B & A Bank	IAM	A2/A-	17/02/2026	500,000	4.100%
Westpac	Direct	A1+/AA-	17/02/2026	500,000	4.770%
NAB	Direct	A1+/AA-	24/02/2026	500,000	4.200%
Westpac	Direct	A1+/AA-	24/02/2026	500,000	4.740%
Defence Bank Ltd	Curve	A2/BBB+	03/03/2026	500,000	4.100%
Reliance Bank	Direct	Unrated	03/03/2026	500,000	4.650%
ING Bank	IAM	A1/A	10/03/2026	500,000	4.650%
NAB	Direct	A1+/AA-	17/03/2026	500,000	4.200%
CBA	Direct	A1+/AA-	17/03/2026	500,000	4.220%
CBA	Direct	A1+/AA-	24/03/2026	500,000	3.990%
NAB	Direct	A1+/AA-	24/03/2026	500,000	4.150%
CBA	Direct	A1+/AA-	31/03/2026	500,000	4.000%
Westpac	Direct	A1+/AA-	31/03/2026	500,000	4.570%
NAB	Direct	A1+/AA-	07/04/2026	500,000	4.180%
IMB Bank Ltd	Direct	A2/BBB+	14/04/2026	500,000	4.050%
Westpac	Direct	A1+/AA-	14/04/2026	500,000	4.160%
CBA	Direct	A1+/AA-	21/04/2026	500,000	4.080%
Westpac	Direct	A1+/AA-	28/04/2026	500,000	4.170%
CBA	Direct	A1+/AA-	05/05/2026	500,000	4.020%
Westpac	Direct	A1+/AA-	12/05/2026	500,000	4.120%
Westpac	Direct	A1+/AA-	19/05/2026	500,000	4.140%
NAB	Direct	A1+/AA-	26/05/2026	500,000	4.200%
NAB	Direct	A1+/AA-	02/06/2026	500,000	4.200%
ING Bank	IAM	A1/A	09/06/2026	500,000	4.050%
CBA	Direct	A1+/AA-	16/06/2026	500,000	3.990%

MyState Bank Ltd	Curve	A2/BBB+	30/06/2026	500,000	4.200%
NAB	Direct	A1+/AA-	07/07/2026	500,000	4.050%
ING Bank	Curve	A1/A	14/07/2026	500,000	4.130%
ING Bank	Curve	A1/A	21/07/2026	500,000	4.150%
Westpac	Direct	A1+/AA-	28/07/2026	500,000	4.200%
Westpac	Direct	A1+/AA-	04/08/2026	500,000	4.120%
NAB	Direct	A1+/AA-	11/08/2026	500,000	4.250%
CBA	Direct	A1+/AA-	18/08/2026	500,000	4.160%
Westpac	Direct	A1+/AA-	25/08/2026	500,000	4.090%
ING Bank	Curve	A1/A	08/09/2026	500,000	3.960%
Reliance Bank	Direct	Unrated	15/09/2026	500,000	4.200%
CBA	Direct	A1+/AA-	29/09/2026	500,000	4.130%
Westpac	Direct	A1+/AA-	06/10/2026	500,000	4.230%
CBA	Direct	A1+/AA-	13/10/2026	500,000	4.130%
NAB	Direct	A1+/AA-	27/10/2026	500,000	4.150%
Total Investments				30,500,000	4.293%
Commonwealth Bank - At Call Account ⁽¹⁾				605,905	3.500%
Commonwealth Bank Balance - General ⁽¹⁾				3,998,926	3.450%
Reliance Bank ⁽¹⁾				429,043	0.000%
Total Cash and Investments⁽²⁾				35,533,874	
Benchmarks:		BBSW 90 Day Index ⁽¹⁾			3.635%
		RBA Cash Rate ⁽¹⁾			3.600%

1. % Interest rates as at end of reporting period.

2. Total cash reported as per bank statements at the reporting date.

Summary of Investment (Cash) Movements - October 2025		
Financial Institution	Amount \$	Commentary
CBA	(510,236)	Term deposit matured 07/10/2025
CBA	500,000	Term deposit reinvested 07/10/2025
Westpac	(524,981)	Term deposit matured 07/10/2025
Westpac	500,000	Term deposit reinvested 07/10/2025
CBA	(510,164)	Term deposit matured 14/10/2025
CBA	500,000	Term deposit reinvested 14/10/2025
CBA	(516,156)	Term deposit matured 14/10/2025
CBA	500,000	Term deposit reinvested 14/10/2025
ING Bank	(524,782)	Term deposit withdrawn 21/10/2025
NAB	(517,490)	Term deposit matured 28/10/2025
NAB	500,000	Term deposit reinvested 28/10/2025

Long Term Credit Rating (or Moody's, Fitch, S&P or Equivalent)	Policy Maximum %	Current Holding %	Current Holding \$
TCorp IM Funds	100%	0%	-
AAA – AA Category	100%	69%	21,000,000
A- Category	40%	16%	5,000,000
BBB+ Category	25%	11%	3,500,000
BBB Category	5%	0%	-
BBB- Category and below: Local ^(a) ADI's	10%	3%	1,000,000
BBB+ / BBB / BBB- & below categories combined	25%	15%	
a. ADI's located within the Local Government Area			30,500,000

Individual Institution Limit	Rating	Policy Maximum \$	Current Holding \$
Auswide Bank	A2/BBB+	1,000,000	1,000,000
Bank of Queensland	A2/A-	3,000,000	1,500,000
Bendigo & Adelaide Bank	A2/A-	3,000,000	1,000,000
CBA	A1+/AA-	8,000,000	5,000,000
Defence Bank Ltd	A2/BBB+	1,000,000	500,000
IMB Bank Ltd	A2/BBB+	1,000,000	1,000,000
ING Bank	A1/A	3,000,000	2,500,000
MyState Bank Ltd	A2/BBB+	1,000,000	1,000,000
NAB	A1+/AA-	8,000,000	8,000,000
Reliance Bank	Unrated	1,000,000	1,000,000
Westpac	A1+/AA-	8,000,000	8,000,000
Total Investments			30,500,000

Summary of Restricted, Allocated and Unrestricted Cash & Investments			
	Actual ⁽⁴⁾ 30/06/2025 \$ 000's	Actual 31/10/2025 \$ 000's	Forecast ⁽³⁾ 30/06/2026 \$ 000's
External Cash Restrictions	14,619	14,536	11,991
Internal Cash Allocations	16,064	13,593	6,557
Total Restricted, Allocated Cash & Investments	30,683	28,129	18,548
Unrestricted Cash	2,852	7,405	4,582
Total Restricted, Allocated and Unrestricted Cash & Investments	33,535	35,534	23,130

3. Balances forecasted are informed by the Long-Term Financial Plan and based on the best available information at time of preparation.

4. Balances are per the audited 2024/25 Financial Statements.

CERTIFICATION – RESPONSIBLE ACCOUNTING OFFICER

I, Tiffaney Irlam, certify that the investments listed in this report have been made in accordance with s.625 of the Local Government Act (1993), the Local Government (General) Regulation (2021) and Council Policy.

Risk/Policy/Legislation Considerations:

The Responsible Accounting Officer must table a written report to Council on money invested pursuant to s.625 of the Local Government Act (1993). Investments made are in accord with the framework established within Council's Investment Policy.

Budget Implications:

A good investment strategy optimises Council's return on investments.

Enclosures (following report)

Nil

Attachments (separate document)

Nil

03) QUARTERLY BUDGET REVIEW STATEMENT - SEPTEMBER 2025

Department: Corporate Services

Author: Chief Financial Officer

CSP Link: 1. Prioritise transparency, financial sustainability and strong partnerships with and for our community

File No: FM.BU.1

Recommendation:

That Council:

1. Receive the report on the Quarterly Budget Review Statement for the quarter ending 30 September 2025.
2. Adopt the supplementary votes of (\$262k) nett proposed in the Quarterly Budget Review Statement, resulting in a decrease to capital expenditure of (\$18k), an increase to operating expenditure of \$53k and a decrease in income of (\$227k).
3. Note the certification of the Responsible Accounting Officer that the Quarterly Budget Review Statement (QBRs) for the quarter ended 30 September 2025, based on the current projections of income, expenditure, and both restricted and unrestricted cash levels, Council's projected financial position as at 30 June 2026 is considered satisfactory.

Reason for Report:

For Council to endorse the Quarterly Budget Review Statement (QBRs) for the quarter ending 30 September 2025.

Report:

The budget review statement must present, with reference to the income and expenditure estimates outlined in the Council's adopted Operational Plan, a revised estimate of income and expenditure for the financial year. It must also include a report from the Responsible Accounting Officer (RAO) indicating whether the Council's financial position is considered satisfactory, based on the original budget estimates.

Minimum reporting standards have been established to ensure transparency regarding the Council's financial position, to explain significant variations, and to recommend budget adjustments for Council's consideration and approval. The accompanying report meets these minimum disclosure requirements.

The QBRs reflects the consolidated financial position of the Council, incorporating both the General and Sewer Funds. It includes, but is not limited to, the following components:

- **Statement by the Responsible Accounting Officer** on Council's projected financial position at year-end, based on the QBRs information.
- **Summary of key financial positions** – Operational, Capital, Net, and Restricted Cash (QBRs Part 1).

- **Operational Income and Expenditure Reviews**, presented:
 - By income and expense type, by fund (including capital grants and contributions) (QBRs Part 2).
 - By function or activity to align with the Operational Plan (including capital grants and contributions) (QBRs Part 4), with additional detail excluding capital grants and contributions (QBRs Part 4A).
- **Capital Expenditure and Funding Review** (QBRs Part 3), with detailed breakdowns (QBRs Part 5).
- **Recommended Budget Adjustments and Commentary** for:
 - Operational Income and Expenditure (QBRs Part 6), and
 - Capital Items (QBRs Part 7).
- **Cash and Investment Position** (QBRs Part 8) and accompanying narrative (QBRs Part 9).
- **Key Performance Indicators** (QBRs Part 10).
- **Contracts Register**, including:
 - Contracts entered into (QBRs Part 11a),
 - Payments made (QBRs Part 11b), and
 - Supporting narrative (QBRs Part 12).
- **Consultancy and Legal Expenses Overview** (QBRs Part 13).
- **Loan Summary** (QBRs Part 14).

The Office of Local Government introduced new QBRs guidelines in August 2025 with an implementation date effective from the September 2025 quarter. The guidelines mandate a minimum standard of reporting with Council already reporting on a number of these requirements including reporting by fund. The following mandated additional requirements have been included in the attached September 2025 QBRs:

- Comparative data for prior year actuals
- A more comprehensive summary page (one page snapshot)
- Summary of Developer contributions

In addition to the introduction of new QBRs templates, the Office of Local Government (OLG) has implemented mandatory reporting requirements. These include the electronic submission of QBRs data in an approved format, similar to the financial data return process for annual financial statements. The new reporting templates are high-level and standardised, offering limited flexibility for modification to suit individual Council requirements.

The attached report presents a detailed review of Council's 2025/26 Budget for the September 2025 quarter.

The quarterly budget review serves as an indicator of Council's financial performance and overall financial position throughout the year. It also provides assurance that Council is on track to achieve the objectives, targets, and outcomes outlined in its Operational Plan.

The attached QBRS report includes a certification from the Responsible Accounting Officer confirming that, based on the current projections of income, expenditure, and both restricted and unrestricted cash levels, Council's projected financial position as at 30 June 2026 is considered satisfactory.

Risk/Policy/Legislation Considerations:

Clause 203 of the Local Government (General) Regulation 2021 requires that the Responsible Accounting Officer of a council prepare and submit to Council a budget review statement. The format as presented reports on an income and expense type, in a similar format to that included in the annual financial reports, as well as by Council activity and helps to inform Council on the anticipated Income Statement operating result for the financial year. Other information is also disclosed including budgeted capital income and expenditure, restricted cash movements and key performance indicators.

Budget Implications:

Overall, the net variation in Continuing Operations for the quarter of (\$30k) will decrease the projected Net Operating Result before Capital Items to (\$1.13m) forecast deficit. For General Fund, net variations of (\$30k) will decrease the projected Net Operating Result before Capital Items to (\$1.2m) deficit. For Sewer Fund, net variations are nil and will not impact the projected Net Operating Result before Capital Items of \$87k surplus.

Operational income variations of (\$227k) include the following significant variations:

- Decrease in capital grants of (\$250k) following notification of an unsuccessful funding application for leachate collection management at the waste facility. The works are still proposed to commence will be fully funded by Council via the Domestic Waste external restriction.
- Increase of \$16k in net gains on disposal of assets due to receipt of insurance proceeds for write off of a vehicle.

Operational expenditure variations of \$53k include the following significant variations:

- Additional \$13k for unforeseen additional cybersecurity related compliance costs.
- Reallocation of the 2025/26 budget of \$19k from the Library Priority Grant from capital expenditure to operational projects.

Other minor budget variations to operational income and expenditure are detailed on page 11 of the attached QBRS.

Capital expenditure variations of \$18k include the following significant variations:

- Allocation of \$29k from the existing buildings renewal allocation towards the following identified projects:
 - Administration building fixed security screen
 - Community Centre fire panel compliance upgrade

- Reallocation the 2025/26 allocation of (\$19k) from the Library Priority Grant from capital expenditure to operational projects.
- Reallocation of remaining budget from finalised stormwater project in Hawke Street to the Newbridge Road culvert renewal.

Other budget variations to capital expenditure are detailed on page 18 of the attached QBRS.

Enclosures (following report)

Nil

Attachments (separate document)

1	September Quarterly Budget Review Statement	26 Pages
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04) ATTRACTION AND RETENTION OF MEDICAL PROFESSIONALS - LOAN

Department: Corporate Services

Author: Director Corporate Services

CSP Link: 1. Prioritise transparency, financial sustainability and strong partnerships with and for our community

File No: CR.SD.2

Recommendation:

That Council;

1. Receive the report on Attraction and Retention of Medical Professionals – Loan.
2. Approve the provision of an interest free loan to Dr. Padmavathi Madduru pursuant to policy 6C Attraction and Retention of Medical Professionals.

Reason for Report:

To seek Council approval for the provision of an interest free loan to Dr. Padmavathi Madduru pursuant to policy 6C Attraction and Retention of Medical Professionals.

Report:

Council has received a request from Dr. Padmavathi Madduru for an interest-free loan to assist with the purchase of a home, as part of her commitment to permanently relocate to the Blayney community.

Under Council's Policy 6C – *Attraction and Retention of Medical Professionals*, incentives are available to attract and retain doctors within the Blayney Shire, including an interest-free loan of up to \$50,000 for a period of two years. The purpose of this policy is to support the establishment of new medical professionals in the Blayney Shire.

The policy allows for a maximum of two loans of up to \$50,000 each, with a limit of two loans being active at any one time. At present, Council has no outstanding loans under the *Attraction and Retention of Medical Professionals* policy.

A copy of the application and draft loan agreement are attached for information.

Risk/Policy/Legislation Considerations:

If approved by Council and in the event of default, Council will be an unsecured creditor.

Budget Implications:

As this will become an interest free loan, the cash outflow will not affect Council's operational budget result. However, it will reduce unrestricted cash levels over the next two years.

At an estimated 4.25% annual return, compounded semi-annually, the two-year loss in investment interest revenue would be around \$2,708.

Enclosures (following report)

- | | | |
|----------|-------------------------------------------|---------|
| 1 | Draft Loan Agreement - Padmavathi Madduru | 3 Pages |
|----------|-------------------------------------------|---------|

Attachments (separate document)

- | | | |
|----------|---------------------------------------|--------|
| 2 | Request for Loan - Padmavathi Madduru | 1 Page |
|----------|---------------------------------------|--------|

This matter is considered to be confidential under Section 10A(2) (e) of the Local Government Act, as it deals with information that would, if disclosed, prejudice the maintenance of law.

AGREEMENT FOR LOAN

DATED XX December, 2025

BLAYNEY SHIRE COUNCIL

WITH

DR MADDURU

THIS DEED made X December 2025 **BETWEEN BLAYNEY SHIRE COUNCIL** of 91 Adelaide Street, Blayney in the State of New South Wales (“the Council”) of one part and **Doctor Madduru** of 1 – 3 Osman Street, Blayney in the State of New South Wales aforesaid (“Dr Madduru”) of the other part.

WHEREAS

- a) The Council is the Local Government Authority exercising its jurisdiction pursuant to the terms of the Local Government Act 1993 for the Shire of Blayney and;
- b) Dr Madduru is a registered medical practitioner authorised to conduct a general medical practice in the State of New South Wales.
- c) The Council has resolved to and is desirous of providing certain financial assistance to Dr Madduru on the terms appearing in this deed.

NOW THIS DEED WITNESSETH

1. The Council hereby advances by the way of loan the sum of Fifty Thousand Dollars (\$50,000) (“the principal”) to the Dr Madduru (the receipt whereof is hereby acknowledged).
2. The Principal shall be repayable by Dr Madduru to the Council within two years in equal instalments with the following payment deadlines

11 June 2026	\$12,500
11 December 2026	\$12,500
11 June 2027	\$12,500
11 December 2027	\$12,500

In the event of Dr Madduru ceasing operation within the Shire and within two years from the date hereof, Council is to be notified of the impending cessation by Dr Madduru and the principal shall be repayable upon demand being made in writing by the Council.

3. Interest is payable on the amount outstanding at the rate of ten per centum (10%) per annum, **PROVIDED THAT** in the event that Dr Madduru repays the principal on or before the date the principal is due for repayment pursuant to terms hereof then the principal shall be free of interest.
4. In the event that interest is payable on the amount outstanding pursuant to this Deed, payments shall be made monthly in arrears, with the first of such payments to be made at the expiration of twenty eight (28) days from the due date for the repayment of the principal sum.
5. Dr Madduru covenants with the Council that they will use their best endeavours to repay the principal within two (2) years from the date hereof.

EXECUTED AS A DEED

SIGNED for and on behalf of

BLAYNEY SHIRE COUNCIL

.....
Print Name

.....
Signature

.....
Name of Witness

.....
Signature of Witness

Signed by the said DR MADDURU

.....
Print Name

.....
Signature

in the presence of:

.....
Print Name

.....
Signature

.....
Address

05) INFRASTRUCTURE SERVICES MONTHLY REPORT**Department:** Infrastructure Services**Author:** Director Infrastructure Services**CSP Link:** 3. Infrastructure is resilient, fit for purpose and maintained to support our community**File No:** GO.ME.1

Recommendation:

That Council;

1. Note the Infrastructure Services Monthly Report for November 2025.
2. Note \$9,000 is being allocated within the 2025/26 Village Enhancement Program for Blayney Tennis Court lighting repairs.

Reason for Report:

This report presents an update to Council on current projects, construction and maintenance activities within the Blayney Shire being managed or undertaken by Council's Infrastructure Services Department.

The report outlines work that has been carried out over the past month as well as status of major projects.

Report:Maintenance works

Some patching was undertaken this month on Hobby's Yards Road, Guyong Road, and Vittoria Road, as well as Carcoar's urban streets.

Reduced patching productivity this month is due to Council staff being unable to source cationic emulsion for the majority of the last month. Council would be aware from the last monthly departmental report that the manufacture of the new tank is underway, and as such we have been procuring emulsion from Orange City Council. Unfortunately, the emulsion manufacturing plant that supplies Orange City Council had a breakdown and have been unable to supply any product. This breakdown has affected many councils in the region, with other neighbouring LGAs also unable to source product.

Maintenance grading works have been undertaken on Mount Macquarie Road in conjunction with resheeting works.

Gravel resheeting has been completed on the following roads since the past report: Curralea Road, Millthorpe Cemetery, and Mount Macquarie Road.

Roadside mowing has been completed on Carcoar Dam Road, Burnt Yards Road, Belubula Way, Junction Reefs Road, Mandurama Road, Gallymont Road, Neville Road, Barry Road, and in the Carcoar, Neville, and Mandurama villages.

Open Spaces and Facilities

Shadesail replacements at Heritage Park have commenced with the installation of a replacement post completed. The installation of the actual shadesails has been delayed due to weather events impacting the contractor's overall program. These are now due for installation end of November.

Irrigation repairs at Napier oval (tank) and KGO (main line) have been completed and irrigation has recommenced. Testing of sensors for recycled water operations is underway.

Investigations into repairs required for the lighting at the Blayney Tennis Courts have identified some lights need replacement and some are repairable. Repairs to lighting have been quoted with the tennis club offering to contribute 50% of the costs for the repairs. Council's \$9,000 contribution (to cover 50% of the repairs) can be taken from within the existing 2025/26 Village Enhancement Program allocation.

Sewer Treatment Plant (STP)

The decanter motor and gearbox have been replaced and are now once again operating automatically. Minor adjustments are continuing to be made to the operating controls to optimise performance.

Recycled Water

Council submitted our Section 60 application to DCCEEW on 28 October, which has been acknowledged by the department. The application has progressed from initial assessment to the technical team for review. The review is required to be completed by 21 January (60 business days), pending requests for further information. Council staff continue to recommission the plant in anticipation of approval.

Major Projects

Note: costs/budgets are reported for the current financial year only.

Rodd Street Culvert Repairs – Natural Disaster AGRN1034					
Due Date	Revised Budget YTD \$	Expenditure this Month \$	Total Expenditure YTD \$	Committed Expenditure YTD \$	Estimated Total Project Costs \$
June 2026	408,270	48,078	196,475	140,720	337,195
Commentary					
<ul style="list-style-type: none"> All works on the road and culvert are completed, with the exception of some minor outstanding works, with the sealing of the road occurring 11/11. Some minor outstanding works are awaiting to be completed and invoiced by the contractor, including handrail and works as executed drawings. 					
Forecast (1-3 months)					
<ul style="list-style-type: none"> Completion of minor works, and finalisation of invoices. 					

Richards Lane – R4R9					
Due Date	Revised Budget YTD \$	Expenditure this Month \$	Total Expenditure YTD \$	Committed Expenditure YTD \$	Estimated Total Project Costs \$
Dec. 2025	2,587,673	49,204	67,833	2,106,832	2,389,195
Commentary					
<ul style="list-style-type: none"> Formal approval by TfNSW of Council's detailed design has been received. Preliminary items of the contract and pre-construction documentation are being compiled by the contractor for both the local road and state road portions of work. Contractor establishment occurred 10/11/25. A driveway culvert variation has been instructed, as one was missed by the design contractor in the original survey & design but picked up by our internal design staff. 					
Forecast (1-3 months)					
<ul style="list-style-type: none"> Construction survey control will be established prior to formal commencement of construction. Establishment of the contractor on site will begin with drainage works. Bulk earthworks, cut/fills to subgrade will likely commence on the local road shortly thereafter. 					

Hobbys Yards Road					
Due Date	Revised Budget YTD \$	Expenditure this Month \$	Total Expenditure YTD \$	Committed Expenditure YTD \$	Estimated Total Project Costs \$
June 2026	1,009,755	105,504	212,034	408,675	957,854
Commentary					
<ul style="list-style-type: none"> Stabilising works are complete with minor re-work undertaken, requiring no use of contingent time/budget allocation. Base course overlay is currently underway, tracking ahead of schedule. 					
Forecast (1-3 months)					
<ul style="list-style-type: none"> Batter dressing and sealing expected to be completed late November. Linemarking, final signage installation to be completed early December pending contractor availability. 					

Garland Road – RERRF					
Due Date	Revised Budget YTD \$	Expenditure this Month \$	Total Expenditure YTD \$	Committed Expenditure YTD \$	Estimated Total Project Costs \$
June 2026	761,197	458	1,656	4,993	760,005
Commentary					
<ul style="list-style-type: none"> • Desktop study/design nearing completion, with scope based on cost and achievable road improvement being firmed up. • Preliminary drainage works are being coordinated, with catchment calculations and pipe sizing being completed. 					
Forecast (1-3 months)					
<ul style="list-style-type: none"> • Completion of desktop design to finalise cut-off for works based on project costs. • Commence early drainage works before end of calendar year. • Commencement in new calendar year. 					

Tallwood Road – RERRF^[1]					
Due Date	Revised Budget YTD \$	Expenditure this Month \$	Total Expenditure YTD \$	Committed Expenditure YTD \$	Estimated Total Project Costs \$
June 2026	1,574,097	7,634	22,265	818	1,500,000 ^[2]
Commentary					
<ul style="list-style-type: none"> • ^[1] RERRF funding accounts for only \$761,197 of the total budget, the remaining budget is funded from Council's general revenue. • ^[2] Cost to complete is yet to be fully revised due to pending completion of first design. Re-estimation will be completed after finalisation of the concept design to determine the scope of works that demonstrates the best value for money. • Council officers are currently designing a 2.5km section of road (CH1825 to CH4315). The design is currently at 85% completion of the concept design phase. • It is anticipated that the current budget will enable construction of approximately 60% of this length due to drainage and geotechnical findings. • Additional testing of materials for overlay & stabilising combinations of rehabilitation are underway due to the first test round not producing acceptable results. 					
Forecast (1-3 months)					
<ul style="list-style-type: none"> • Finalisation of pavement mix design investigation, as our geotechnical engineers shall test Council quarried material suitability for admixing in the pavement during stabilisation. • Review and finalisation of the concept design is expected to be completed by the end of November. 					

Newbridge Road Culvert – FRG					
Due Date	Revised Budget YTD \$	Expenditure this Month \$	Total Expenditure YTD \$	Committed Expenditure YTD \$	Estimated Total Project Costs \$
June 2026	255,680 ^[1]	9,093	10,243	130,402	242,834
Commentary					
<ul style="list-style-type: none"> • ^[1] The current budget is \$255,680. A Q1 QBRS adjustment of \$19,861 from the completed Hawke Street Drainage Improvements project will be proposed, which would bring the total budget to \$275,541, subject to Council approval. While the project is currently estimated to be completed within the budget allocation, this is proposed to cater for contingency for the pavement construction over the culvert. • Construction of the culvert is now complete, with opening to traffic on 11/11/25 under traffic control. • Drain crossing and pavement works complete. • Original plan for asphalt pavement over culvert has been abandoned, due to lack of available suppliers to provide quotes and commit to timeliness required for opening the culvert before end of November. An alternate pavement design with spray sealing will be completed instead. 					
Forecast (1-3 months)					
<ul style="list-style-type: none"> • Prepare road for spray sealing programmed 17/11/25. • Opportune reseals will be undertaken in conjunction with sealing over the culvert. • Fencing reinstatement and floodgate, and reinstatement of delineation will occur after culvert works are complete. Completion is estimated for December. 					

Risk/Policy/Legislation Considerations:

Council's infrastructure activities are undertaken in accordance with the Local Government Act 1993 and other relevant regulatory frameworks.

Delivery is guided by Council's adopted policies, including procurement and risk management. This report provides ongoing updates on key projects and associated risks such as cost variations and delivery timeframes.

Budget Implications:

All works detailed are undertaken within existing budget allocations.

Enclosures (following report)

Nil

Attachments (separate document)

Nil

06) MINUTES OF THE BLAYNEY SHOWGROUND USER GROUP COMMITTEE MEETING HELD 10 NOVEMBER 2025

Department: Infrastructure Services

Author: Manager Waste Water and Urban Services

CSP Link: 3. Infrastructure is resilient, fit for purpose and maintained to support our community

File No: PR.ME.3

Recommendation:

That Council:

1. Receive the minutes of the Blayney Showground User Group Committee meeting held 10 November 2025.
2. Endorse the Blayney Showground Strategic Plan 2026-2030 and place on exhibition for a period of 28 days.
3. If no submissions are received, the Strategic Plan be adopted.

Reason for Report:

For Council to approve the minutes of the Blayney Showground User Group Committee meeting held 10 November 2025.

For Council to endorse the Strategic Plan for the Blayney Showground User Group Committee, and place on public exhibition for 28 days.

MINUTES OF THE BLAYNEY SHOWGROUND USER GROUP COMMITTEE MEETING HELD IN CHAMBERS, BLAYNEY SHIRE COUNCIL COMMUNITY CENTRE, ON 10 NOVEMBER 2025

PRESENT: Cr Bruce Reynolds (BSC – Chair 4:30pm – 5:05pm), Cr Rebecca Scott (BSC – Chair 5:05pm), Kim Cheney (Blayney Shire Horse Sports), Geoff Redmond (Blayney Shire Horse Sport), Annabel Kingham (Blayney A&P), Peter Davis (Blayney Harness Racing), Beth Maclean (Central Western Dressage Group), Susan Lowe (Central Western Dressage Group), Megan Joerg (Central Tablelands Working Equitation & Coaching), Peter Day (Carcoar & District Pony Club).

Liam Golding (BSC), Nikki Smith (BSC).

APOLOGIES

Cr Craig Gosewisch (BSC, Chair), Rosemary Reid (Blayney A&P), Amanda Hutt (Central Tablelands Working Equitation).

WELCOME TO COUNTRY

DECLARATIONS OF INTEREST

Nil.

CONFIRMATION OF MINUTES

RECOMMENDATION: That the minutes of the previous Blayney Showground User Group Committee Meeting held on Monday 30 June 2025, be confirmed to be a true and accurate record of that meeting.

(Peter Davis / Geoff Redmond)

MATTERS ARISING FROM THE MINUTES

Nil.

ACTION REGISTER

Noted.

CHARTER FOR COMMITTEE

Noted.

STRATEGIC PLAN

RECOMMENDATION: The Blayney Showground User Group Committee Blayney Showground Strategic Plan 2026-2030 be endorsed and referred to Council for adoption.

(Geoff Redmond / Liam Golding)

OPERATIONAL MATTERS**Sponsorship Signage**

Council have been working with ICR in relation to a pully system for hirers to erect their sponsorship signs for their events. The pully system will incorporate the ability to erect 3 signs on the western end of the CWELC. Installation costs for the pully system have been approved by the General Manager and ICR are currently manufacturing the system.

ACTION: Council to continue working with ICR on the installation of the pully system.

Test & Tag

General discussion on user groups advising Council if they have any equipment/appliances in the pavilion. Council have done a test and tag of all equipment 2025.

Central Western Dressage Group and Blayney Shire Horse Sports advised they have no equipment in the pavilion.

ACTION: Council to send an email to users groups to do a stocktake of any equipment/appliances they own in the pavilion and advise Council. Groups are responsible to organise for the compliance of electrical equipment they own by having it test and tagged.

Closing Gates

General discussion on being mindful that the showground gates are closed after usage. Council and user groups will continue to check the showground and if noticing that the

gates are open will do a check of the grounds and lock the gates if required. Groups will advise Council if this occurs for record keeping.

ACTION: Council will continue to keep a log of any occurrences of the gates being left opened.

Equipment at Showground

Discussion. Groups advised rakes are missing. 4 wheelbarrows are sufficient. Request for a couple of shovels.

ACTION: Council to replenish and order 4 rakes and 2 shovels for the showground CWELC area.

Application forms (online)

Discussion, user groups would like Council to provide a how to find the form on our website factsheet. Groups provided feedback on the forms - once you provide the initial form with all dates and include insurance is there a way you do not have to keep providing a copy of the insurance document to book in further one off dates.

ACTION: Council to review application form for ease of lodging multiple forms during the year and to provide a link to the calendar on our website for hirers to see available dates.

New Matters

Fire Hose Repairs

Discussion, Council are having issues sourcing parts for repairs of hose.

ACTION: Council to find a solution to repair the fire hoses.

Gravel at back of gator shed

Discussion, Action remains outstanding however council confirm this will be attended to. Implements may need to be moved to gain access. Council to coordinate with groups as required.

ACTION: Council to complete works.

Housekeeping

Discussion on making sure the grounds are left clean of any rubbish to assist our Parks and Gardens team when doing maintenance such as mowing.

Suitability of fee structure

Discussion advising that Council reviews its fees and charges annually. Council to look at fees for an individual, user groups, commercial, CPI income and expenditure. Look at incorporating more relevant categorisation of fees and charges.

ACTION: Council to work on Fees and Charges in 2026 for the 2026/27 financial year and ask user groups for feedback.

PROJECT UPDATES

Shelter over yards update

Question from user groups asking why did Council reject this project.

Council advised it is supportive of the project and provided an email advising this and requesting further information on design and other criteria. Council advised that this project will require a Development Application (DA). Group noted costs for submission are hard to cover unless works are approved. Discussion be whether funding pathway to cover DA costs could be shared between user groups. Consider including costing in any grant applications, or specific council grants.

ACTION: User Groups to organise a pre planning DA meeting with Council's Planning Department for the shelter over the yards project to source out criteria requirements and costings for a DA.

Arena Enhancement – Outdoor Dressage Arenas

Central Western Dressage Group provided update on the outdoor arenas. Advising to be compliant with EA they had to raise the height of the arena sides. CWDG have organised and will pay for contractors Hydro Plumbing to these works. CWDG will do a site visit after this meeting to see where the project is up to. Works estimated to be completed by end of November 2025.

ACTION: CWDG to do a site visit 10.11.2025 to look at the contractor's progress on this project.

Portable Stables

CWDG are organising project to install 10 portable stables at Blayney Showground. CWDG provided the Committee with a plan of the location of the stables being behind the Pony Club yards and further along the fence. Due to a tree, there will be 3 stables together and 7 stables together. Estimated quote for the project is in the vicinity of \$92000 which includes tank, tank stand, downpipes, roof gutter, timber for stables to sit on, 10 stables, installation and labour. Please note all groups are in favour of the location of the stables as presented in the diagram.

Council advised that this project will require a DA.

Question can both the portable stable and shelter over yards projects be submitted on the one DA application in a staged process. Pre-DA meeting to be organised.

ACTION: User Groups to organise a pre planning DA meeting with Council's Planning Department for the shelter over the yards and portable stables project to source out criteria requirements and costings for a DA.

ACTION: Council to forward to all the groups the Community Initiated Infrastructure Policy.

Upgrades to amenity blocks

Upgrades to the amenity blocks have been completed by contractor organised and paid for by Blayney A&P. Replaced taps, soap dispensers, hand towel dispensers. Works complete.

Lighting at shed

Lighting has been installed and project completed at the Fruit, Vege & Wool shed.

Pavilion Painting

Update to be provided at next meeting.

Camping SW Corner - Power

Council and Blayney A&P are still awaiting quote from TWS. Discussion on other whether to source a different electrical company, issue is that TWS have done the majority of the electrical works at the showground and know the system and locations of electrical sources at the ground.

ACTION: Council and Blayney A&P to continue to follow up TWS for quote.

Fencing – Trotting Track

Stage 1 of the fencing project has been completed.

Stage 2 – Council advised that instead of the orange para webbing another extension of the fence product has been found. Council to look at future grant allocations for this project.

Harness Racing NSW will not contribute to this project.

ACTION: Council to continue to work on future grant allocation for extension of height of fence around the trotting track.

General Business

Memorial Tree

Carcoar & District Pony Club enquired if a memorial tree could be planted for John Kinghorn OAM who passed away in July 2025. John for over 50 years instructed, coached, judged and mentored riders across Pony Clubs and equestrian groups in the Central West. Council advised procedure/policy for this type of request is 12 months after the date of death.

ACTION: Carcoar & District Pony Club will write a formal letter to Council with a request for consideration of a memorial tree and plaque to honour John Kinghorne OAM.

Power at Showground

Cr Reynolds enquired if the overloading of power is still an issue or was it repaired.

Council advised overloading of circuits can still occur, however the electrical plan was mapped out in conjunction with the Masterplan which included an indicative price for various upgrades.

ACTION: Council to circulate the Masterplan, electrical plan and pricing to the Committee.

FUTURE MEETING DATES - 2026

11 May 2026

9 November 2026

Meeting finished at 5:50pm.

Enclosures (following report)

1 Blayney Showground Strategic Plan 2026-2030

7 Pages

Attachments (separate document)

Nil



BLAYNEY SHIRE COUNCIL

Blayney Showground & Equestrian Sport Facilities Strategic Plan

2026-2030



Endorsed by Blayney Shire Council <<Date>> (Resolution No ...)

1



Acknowledgement of Country

Here in Blayney Shire, we gather on Wiradjuri country on which members and elders of the local indigenous community and their forebearers have been custodians for many centuries and on which aboriginal people have performed age old ceremonies of celebration, initiation and renewal, we acknowledge their living culture and their unique role in the region.

Published by Blayney Shire Council
Insert Date XXXXX

Disclaimer: The information contained in this publication is based on knowledge and understanding at the time of writing. However, because of advances in knowledge, users are reminded of the need to ensure that information upon which they rely is up to date and to check currency of the information with the appropriate officer of Blayney Shire Council or the user's independent adviser.

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About Blayney Showground

Blayney showground is a public facility on NSW Crown Land, managed by Blayney Shire council as Trustee, located at 22 Marshalls Lane.

The current ground facility consists of:

- Showground/Grated Track (Inc. Grandstands & Watch towers)
- Leisure Field (Centre of Showground)
- Large Enclosed/shaded Arena - CWELC (Lit Up with easy water access for grounds)
- 3 Outdoor Arenas
- Storage Area & Secure area for computers and equipment
- Storage sheds (For regular users)
- Pavilion Hall
- Shaded open Rest Area (Attached to Pavilion)
- Meal/Dining Room
- Commercial Kitchen
- Undercover Area
- Canteen/Bar Area
- Meeting Room (for Showground User Groups)
- Tie Up Stables & Wash bays
- Yards (Sheep, Cattle + Loading Ramp, Dog)
- Drive in grass Carparking Access
- Camping point (For Events Only)
- Bathroom Facilities that consist of
 - Bathroom Amenities Block 1:
 - Male Bathrooms
 - Female Bathrooms
 - 1 Accessible Toilet
 - Bathroom Amenities Block 2:
 - Male Bathrooms
 - Women's Bathrooms
 - 1 Accessible Toilet + Car Parking Area
- Open Grass Areas
- Accessible Power (Inc. 3 Phase) and Water for Users.

Council relies on volunteer committees to contribute to the planning for future development, working towards common goals and to support each other to attain grant funding for large infrastructure projects. The success of the ongoing operations, sharing of equipment, booking, scheduling and enhancement of the facility depends on working collaboratively together.



Access and Usage

Blayney Showground is split into three zones of usage – Sportsground, General Community Use and Park Land as shown in our General Plan of Management for Community Land (Crown Reserves). These zones give Council and users the opportunity to utilise the site for events such as entertainment, including open air cinemas, jumping castles, and children's petting zoos. Filming and photographic projects, festivals, parades, markets and fairs and fitness equipment are all supported. Various animal uses are allowed at this facility, providing that NILS (Guidelines for NSW Shows and Sporting Events) are being followed. Exercise courses, fitness and health classes, short-term camping, competitions and many more uses are permitted under the Plan of Management. The challenge is to provide a ground that can accommodate as many uses as possible without compromising suitability for other uses.

Community User Groups

The following user groups are well established patrons of the Blayney Showground:

- Blayney A&P Association
- Blayney Harness Racing Club
- Blayney Shire Horse Sports
- Canine Behaviour and Fitness
- Carcoar & District Pony Club
- Central Tablelands Working Equitation
- Central Western Dressage Group

Commercial User Groups

The following groups also are established regular users of Blayney Showground:

- Bucking Bulls
- National All breeds Junior Heifer Show

Past Events

Previous groups to use the Blayney Showground have undertaken the following activities:

- Blayney Show
- Circus
- Music Festivals/Concerts
- Race Meets
- Auctions
- Parties
- Wakes
- Sporting Events
- School Events
- Private Events



Goals and Intent

Vision of the Organisation

Blayney Shire Council is committed to creating a high-quality regional facility that will regularly host both larger regional events as well as smaller community events. This will serve the dual purposes of providing a fit-for-purpose facility catering for the diverse needs of our community, as well as bringing tourism to Blayney through the hosting of commercial events.

Increase Versatility and Usability for Community and Commercial Groups

Council and Users need to ensure the facilities are safe, accessible and adaptable, and that projects align with the Showground Masterplan.

Regular meetings between Council and User Groups will maintain communication to assist in determining priorities for projects and the areas for growth. Projects can generally be categorised as either essential maintenance, or enhancements to existing infrastructure. Grants/Fundraising are commonly required for enhancement works. Projects should be scheduled in an effective way that identifies opportunities to leverage works, and make the most of capital investments. The Showground User Group seeks to maintain a pipeline of projects for grant opportunities. Depending on complexity and costs, some projects may be "shovel ready" with existing approvals.

Council will continue to investigate user-friendly booking systems that will make hiring the facility simpler and easier, as well as reduce administration work. The ultimate aim is to increase the ease of using the facilities for community groups.

Increased Community and Commercial Patronage

Blayney Showground should be recognised as a hub for events and tourism in the Shire. This can be encouraged through well-developed marketing plans that can be collaborated with tourism bodies and establishing partnerships with local schools, clubs and other community organisations. Maximising the information available for the facility through our website and other publications will increase awareness of and thereby usage of the Showground. Streamlining of website traffic and online enquires, as well as implementing a structured feedback system for events will create an easier, more effective and formal information loop, allowing improvements in processes.

Council and User Groups are encouraged to promote the success of their events, and how they have used the facility, through media and other platforms.



Ensure the Long-Term Financial Viability of the Showground

All parties are encouraged to establish and maintain strong bonds with each other – Council, Committees, and User Groups. Shared information and objectives will support long term outcomes. It also encourages collaboration that can be beneficial for complex works that may require particular expertise.

Financial Viability is essential for the long term success for the Blayney Showground. Fees and Charges must be set at a level that encourages usage to bring in more users, including individuals, community groups, and commercial entities for both recurring and one-off events. The fees must also be able to support the ongoing operational and renewal needs of the facilities. Consultations is a key factor in determining appropriate Fees and Charges. Likewise engagement on strategic direction will support achievable delivery plans that align with the master plan.

Timeframes

Timelines and schedules constantly change but the general outcome for the facility will remain the same. Based on the Master Plan, rough timeframes are:

Short-term	Boost marketing presence, improve accessibility information, secure small grants.
Medium-term	Deliver priority infrastructure upgrades, grow number of events, establish prominent events
Long-term	Position Blayney Showground as a leading regional venue, aligned with tourism strategies

Guiding Principle

All initiatives and investments must consider the Blayney Showground Masterplan to ensure long-term cohesion and sustainability.

07) DRAFT DEVELOPMENT CONTROL PLAN 2026**Department:** Planning and Environmental Services**Author:** Director Planning and Environmental Services**CSP Link:** 3. Infrastructure is resilient, fit for purpose and maintained to support our community**File No:** DB.PO.2

Recommendation:

That Council:

1. Endorse the Draft Blayney Shire Development Control Plan 2026 as attached to this report for public exhibition.
2. Authorise the General Manager to make any minor amendments including insertion of additional diagrams to the Draft Blayney Shire Development Control Plan 2026 content, as required for its exhibition
3. Place the Draft Blayney Shire Development Control Plan 2026 on public exhibition as required under the procedures of the Environmental Planning and Assessment Act 1979, Environmental Planning and Assessment Regulation 2021 and Council's Community Engagement Plan, noting that the period will be extended due to the Christmas/New Year period.
4. Note that a future addendum will be produced in respect of the lands on the corner of Park Street and Richards Lane, Millthorpe.

Reason for Report:

To obtain Council's endorsement of the Draft Blayney Shire Development Control Plan 2026 to enable public exhibition

Report:

Though not legally binding, a Development Control Plan (DCP) provides detailed planning and design guidelines to support planning controls in a Local Environmental Plan.

DCPs identify additional development controls and standards for addressing development issues at a local level and can be applied with more flexibility than in a Local Environmental Plan.

Council's current DCP, Blayney Development Control Plan 2017, has been in operation since 2018 and it is timely that it be updated to incorporate modifications required by legislative change and learnings from the operation of the current DCP.

External consultants have carried out a review of the existing DCP. The review sought to produce a draft DCP which will replace the 2017 document incorporating:

- General review of the document
- Review of natural hazards and resilience considerations
- Update any relevant changes made in the Planning Proposals completed in the last 5 years;
- Update changes made by the Department of Planning including legislative changes- eg employment zones
- Review of controls where issues have arisen since the inception of the 2017 DCP, eg cumulative floor area of outbuildings

Council staff have reviewed the draft document prepared by the consultant and have also made further refinements. Comments and suggestions raised by Councillors have also tried to be incorporated.

The Draft Blayney Shire DCP 2026 comprises the following sections:

PART A:	Introduction to the Plan
PART B:	Residential Development
PART C:	Commercial, Community and Industrial Development
PART D:	Subdivision
PART E:	Other Land Uses
PART F:	Environmental Management and Hazards
PART G:	Heritage Conservation

Notable Changes to Draft DCP

Notable changes from DCP 2017 to the draft document include:

- Removal of current Part B Notification and Public Exhibition as requirements are now outlined in Council's Community Participation Plan.
- Minor increase in allowable cumulative floor area for outbuildings in Urban Areas (Section B3.3)
- Increase in allowable cumulative floor area for outbuildings in Large lot Residential area (Section B3.4).
- Remove the outright requirement to prohibit Shipping containers in Heritage Conservation Areas and Heritage Items (this is only because a DCP should not prohibit something outright) and replace it with a maximum period of 12 months; be screened from public view; and only be in conjunction with heritage conservation works (B3.6)
- Require increase in carparking spaces for Health Consulting Rooms and Child Care Centres (C4.9)
- Introduction of a new section (F7) on Biodiversity Management and F8 Riparian Land & Waters

- Changes to tourist and visitor accommodation and addition of agritourism (E5.2)
- A Flooding Section (F4) has been added.
- A number of updates and additions to the Heritage Chapter G.
- Provisions (D 2.5 – 4 & 5) have been inserted requiring residential footpaths on one side of new public roads that link to the existing pedestrian network. Footpaths on both sides of new public roads will only be considered if the developer and Council agree that it is appropriate in the circumstances.
- A section on Renewable Energy Projects (E11) primarily aimed at providing appropriate guidance and controls around Wind Farms and Solar Energy Projects.

Other matters

- North Millthorpe D4.4 – this provision remains at this point. However, with the approved 53 lot residential subdivision and separately owned large lot residential land forming an important entry to Millthorpe a separate section will need to be developed. This will likely be a separate addendum to the DCP outside the current process.

A copy of the draft DCP 2026 is attached. The Flooding and Renewable Energy sections are included unmarked, whereas other insertions or changes from DCP 2017 are generally indicated in red text.

Risk/Policy/Legislation Considerations:

Development Control Plans must be prepared in accordance with Part 2 Division 2 of the Environmental Planning and Assessment Regulation 2021. The draft DCP must be published on Council's website for exhibition and receipt of submissions and when ready for adoption the existing DCP is repealed at the same time as the adoption of the new DCP.

Draft Development Control Plans must be exhibited for a minimum of 28 days under Council's Community Participation Plan. However, given the exhibition will likely include the Christmas/New Year Holiday Period and early January when people can be on holidays, a reasonable extension of time will be proposed.

Budget Implications:

Council engaged an external planning consultant to assist staff with the development of the Draft Development Control Plan 2026. External funding was also provided through the NSW Local Government Flood Recovery Grant program as the flooding section of the DCP seeks to cover a number of flooding issues.

Enclosures (following report)

Nil

Attachments (separate document)

1 Blayney Shire Council Draft DCP 2026

237 Pages

08) DA2024/0063 - DETACHED DUAL OCCUPANCY AND 2 LOT SUBDIVISION - 24 KNOX PLACE, MILLTHORPE

Department: Planning and Environmental Services

Author: Director Planning and Environmental Services

CSP Link: 2. A connected, healthy and inclusive community

File No: DB.AB.2200

Recommendation:

That Council:

1. Note the submission received in relation to Development Application 2024.0063.
2. Note its decision of 28 October 2025 to grant development consent to Development Application 2024.0063 for the erection of a dual occupancy and a two-lot subdivision at Lot 11, DP 1291217, 24 Knox Place, Millthorpe subject to the conditions.
3. Note that the contents of the submission and the revised assessment report attached to the business paper have been duly considered and Council's position in granting development consent, subject to the same conditions remains.

Reason for Report:

At its Ordinary meeting of 28 October Council determined development application 2024.0063, resolving to grant development consent. Following this resolution, and prior to issue of the consent, staff discovered a submission that had not been considered in the assessment or advised to councillors for their consideration. The submission is provided unredacted as a confidential attachment.

As the consent had not been issued it was possible to review the submission and properly consider it under Section 4.15 of the Environmental Planning and Assessment Act. This also allowed proper procedural fairness to be provided to the parties who made the submission.

Should the consideration of the submission give rise to a change in recommendation then the Council would need to be advised and the opportunity afforded to Councillors to consider a process to rescind the resolution. However, the independent consultant that conducted the original assessment has reviewed the submission and given it due consideration in a revised assessment. This assessment still recommends consent be granted and no additional conditions are recommended.

Recap of Development Application

DA2024.0063 was lodged, seeking consent for two (2) single-storey dwellings and a two-lot subdivision at Lot 11, DP 1291217, 24 Knox Place, Millthorpe. Due to concerns that were expressed on the potential to re-subdivide larger lots over 900 m² in the original subdivision, further information and justification

was required and a wider notification program was conducted. The further information/justification was provided. One submission was received.

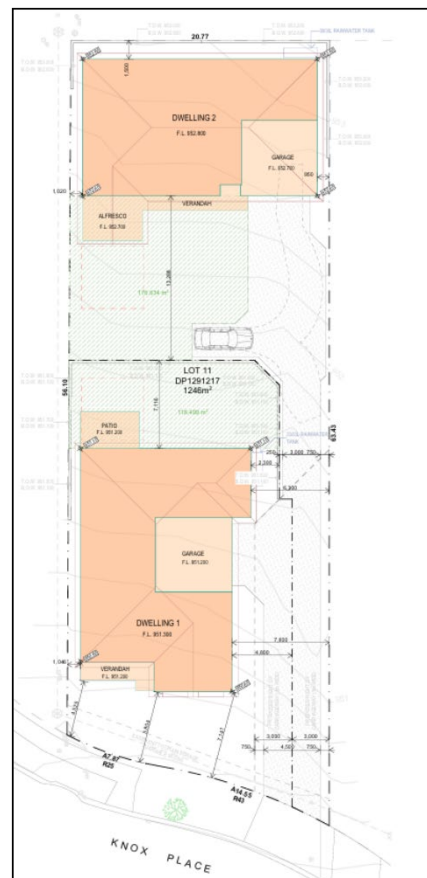
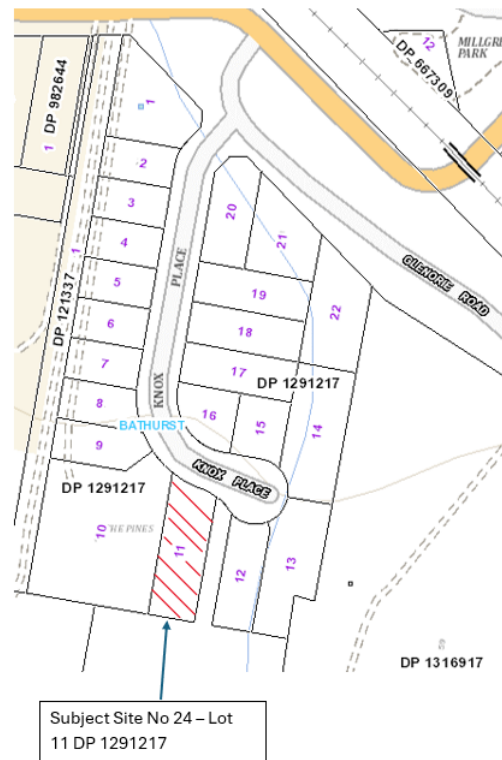
The DA has been assessed by an independent Planner and has been found to be capable of approval. This assessment has been revisited by the Planner in light of the submission received and a revised assessment carried out. The report is attached to the business paper.

Report:

The application submitted has the following details.

Application Number:	DA2024.0063
Development:	Detached Dual Occupancy and 2 Lot Subdivision
Applicant:	Brett North, Andrew Crump Town Planning
Owner:	Morgan Family Property Holdings Pty. Ltd.
Lodgment date:	04/09/2024
Land:	Lot 11, DP 1291217, 24 Knox Place, Millthorpe
Local Environmental Plan:	Blayney Local Environmental Plan, 2012
Zoning:	R1 General Residential
Development Control Plans	Blayney Development Control Plan, 2018
Designated/integrated development:	Local Development
Referrals:	Engineer, Referred: Response Received, conditions imposed Building Officer, Referred: Response received, conditions imposed. Heritage Advisor, Referred: Response received, conditions imposed. Central Tablelands Water, Referral not required.
Notification/advertising dates:	Neighbour notification: 05/09/24 to 19/09/24. No submissions received. Renotification including wider public notice was undertaken from 17/7/2025 to 31/7/2025. One submission received.

Following initial lodgement of this development application and preliminary assessment it was identified that concerns were expressed on the potential to re-subdivide larger lots in during the assessment of the original 23 lot subdivision. Consequently, further information and justification was sought from the applicant, and a wider notification program was conducted.



The subject lot has an area of 1246 m² and was created by a 23 lot subdivision approved in 2021. At the time of the original residential subdivision, it was highlighted that a number of lots were well in excess of 450 sq m which led to community concern around further subdivision of these allotments in the future.

It was noted at the time that the layout was acceptable as the larger lot sizes were critical as to how the development would appropriately interface with the surrounding environment, in particular; Glenorie Road, the adjoining RU1 Primary Production land to the east, and more widely how the development will be viewed from Glenorie Road, the wider village, the railway line and the Millthorpe Railway Station.

It was also noted that the property was within the Millthorpe Heritage Conservation Area and additionally the vista along Glenorie Road was identified in Council's 2020 Settlement Strategy as being a key entrance to the village and the visual amenity would be protected through the inclusion of larger lots. It was noted that this would remain a valid consideration for any subsequent application for subdivision.

An extract of the development assessment report for the original subdivision, DA60/2020 is provided below:

Despite concerns regarding the density of the proposed subdivision, it should be noted that many lots within the existing Millthorpe Village are below 650m², particularly around Pearce Street, Pilcher Street, Crowson Street and Church Street. Notably, there are four lots in Pilcher Street below 400m².

In this regard, it is not considered that density of the proposed subdivision would have a detrimental impact on the residents or character of the existing Village.

With regard to the potential for further subdivision of the proposed lots, it is noted that there are several (10 lots) in excess of 900m² that could in theory have the potential to be further subdivided, being Lots 10, 11, 13, 14, 17, 18, 19, 20, 21 and 22.

Any further subdivision of the proposed lots would be subject to a further development application and subsequent assessment on its merits.

Whilst the Minimum Lot Size (currently 450m²) is a key consideration for subdivision under the Blayney Local Environmental Plan 2012, it is only one consideration. In this particular instance, how these larger lots have been created (in particular the size) would also be a consideration.

In this regard, it is noted the current layout is recommended because of the larger lot sizes on the east and north of the subdivision. These larger lots (and subsequent dwellings) are considered critical to how this development will appropriately interface with the surrounding

environment, in particular; Glenorie Road, the adjoining RU1 Primary Production land to the east, and more widely how the development will be viewed from Glenorie Road, the wider village, the railway line and the Millthorpe Railway Station (which is an operating railway station and State listed Heritage Item).

It is noted 61 Forest Reefs Road is within the Millthorpe Heritage Conservation Area and additionally this vista along Glenorie Road was identified in Council's recent 2020 Blayney Shire Settlement Strategy as being a key entrance to the village and the visual amenity is to be protected.

It is also highlighted the historic interface between Rural land to the RU5 village zone (immediately to the west of the site) has been addressed through an existing vegetation buffer on the western boundary of 61 Forest Reefs Road, Millthorpe (which will be removed as a result of the development).

The vegetation buffer has historically screened and managed the transition of this important interface, however as this subdivision relocates the historical interface further east the larger lot sizes are considered critical to addressing; land use conflict, heritage conservation and transition of the subdivision.

It is also important to note at this point, there is no further residential expansion (further East past this site) along Glenorie Road identified in any strategic planning documentation or studies.

In addition to the typical planning controls, Council recently strengthened its position on heritage through the Blayney Local Strategic Planning Framework (LSPF), which includes the following strategic direction: Protect key heritage assets, heritage streetscapes and town and village entrances by identifying the desired character and ensuring development is sensitive to character in Blayney, Millthorpe, Carcoar and Newbridge.

It would be expected any future development application for subdivision would have to satisfactorily address the abovementioned matters, noting the larger lot size are considered critical of balancing this development into the surrounding environment (both built and natural).

Due to these issues, Council requested that the applicant in the current development proposal provide detailed submissions addressing the abovementioned matters, after which the application would be widely notified and exhibited given the interest shown with the original subdivision.

The applicant responded with the primary piece of supporting documentation being a Heritage Impact Statement which concluded the proposal “would have, at worst, only a minimal level of noticeability from a limited number of general (not significant) vantages points within the townscape of the Millthorpe HCA.” The applicants Planning consultant also provided a submission

seeking to further address the issues raised. The Heritage Impact Statement and submission are attached to the business paper.

The development application was renotified from 17 July 2025 to 31 July 2025, with one submission received. An unredacted copy has been provided to Councillors as a confidential attachment. Details of the matters raised in the submission are also outlined below together with the assessing officers comments.

1. The diversion from the original approved subdivision as per DA60/2020.

Objector: *The objector is concerned about the further subdivision of approved lots being inconsistent with the community's expectation that this development is a transition between urban and rural land.*

Comment: *Notwithstanding the intentions behind the original subdivision of the land and the community's expectations regarding the development outcomes, the original subdivision consent did not prevent further subdivision of the land and no development restrictions were placed on the lots created. The proposed subdivision complies with the minimum lot size for the land and the applicant has adequately addressed the heritage impacts of the development through the submission of a Heritage Impact Statement.*

2. The potential precedent that may be set by the subdivision of 24 Knox Place.

Objector: *The objector is concerned with the potential further subdivision of 21 and 27 Knox Place and 69 Glenorie Road.*

Comment: *21 and 27 Knox Place and 69 Glenorie Road are large enough for further subdivision to be considered. It should also be noted that the lots could be developed with dual occupancies and not subdivided resulting in a similar built form outcome. Any proposed development for subdivision or dual occupancies on these lots would need to be accompanied by a Heritage Impact Statement to address the impacts, and a Statement of Environmental Effects to address issues such as privacy. Any such development applications would also be notified to provide an opportunity for neighbouring land owners to make submissions.*

3. Inconsistencies in the application

Objector: *The façade of the proposed front dwelling is not in keeping with the developing character of the street with the four dwellings partly and/or fully completed in Knox Place already having a contemporary appearance. It is noted that the "Council's heritage advisor" has not objected to the design of the front dwelling. The applicant of DA2024/0063 is Mr. Andrew Crump, who has worked for Orange City Council as a planner and heritage advisor. To a ratepayer of the Blayney Shire Council, this would appear to be a distinct advantage to the applicant.*

Comment: *The proposed façade of the front dwelling is consistent with the design guidelines for dwellings in Knox Place prepared by Council's Heritage*

Advisor and as noted by the objector, Council's Heritage Advisor has supported the front dwelling façade. The use of town planning and heritage professionals is appropriate for the submission of development applications in a heritage conservation area.

Objector: *Despite claims that the development will not be visible from key vantage points, the proposed dwellings—particularly the rear battle-axe lot—will increase built form density and reduce the openness that currently characterises the southern edge of the village. This change will be noticeable from Glenorie Road and may diminish the rural transition zone that currently buffers the village from surrounding agricultural land – and indeed our Glenorie Road property.*

Comment: *The Heritage Impact Statement submitted with the development application assesses the potential impact of the proposed development on the Millthorpe Heritage Conservation Area and concludes that “the scheme would have, at worst, only a minimal level of noticeability from a limited number of general (not significant) vantages points within the townscape of the Millthorpe HCA”. This assessment is supported and it is considered that the proposal has been appropriately designed and will have no significant impact on the transition from urban area to rural areas in Millthorpe.*

Objector: *The proposed landscaping, while noted, does not adequately mitigate the visual bulk of the development. The reduced side setbacks for Dwelling 2 do not comply with the DCP and will result in a cramped appearance inconsistent with the spacious character of the area. The minimal rear setback also limits opportunities for meaningful planting and privacy screening. If approved, this also sets a precedent for other houses within Knox Place to be built closer to the lot boundaries than currently allowed under the Blayney Development Control Plan 2018.*

Comment: *A variation to the side boundary setbacks for dwelling 2 has been assessed and is considered appropriate given the large setback to the dwelling on the lot to the west and the large setback to a future dwelling on the lot to the east due to the access driveway to the land to the south. The rear setback complies with Council's requirements. Any future requests for variations to Council's requirements will be assessed on their individual merits.*

Objector: *If the subdivision of 24 Knox Place did start a precedent and more blocks were approved to be subdivided, Glenorie Road would become increasingly busier and create more pressure at the Knox Place – Glenorie Road intersection with ongoing drainage problems and constant road repairs required as already happens. In addition to traffic flow and volume increases, while the applicant argues that one additional lot will not strain infrastructure, the cumulative effect of similar applications could place pressure on local services, including sewer capacity, traffic, and stormwater systems.*

Comment: *All development applications proposing subdivision will be considered by Council officers with regards to potential impacts on the local*

road network and Council utilities. Development applications for subdivision are subject to conditions requiring development contributions that are used to upgrade road and utility infrastructure as required.

The revised Planning Assessment has found that the concerns raised with the application and the submission made have been addressed and recommends consent be granted subject to conditions. In relation to Council's original highlighted concerns, a summary table is provided below outlining how the applicant has sought to address Council's concerns and the assessment comments.

Council's Original Concern	Applicant's Response	Assessment
Heritage & Visual Impact on Millthorpe Heritage Conservation Area (HCA)	A Heritage Impact Statement (HIS) concluded the site is of 'neutral' heritage value, with minimal visibility and no adverse impacts on key sightlines or the village form.	Heritage Advisor supported the design; development considered consistent with Millthorpe character.
Subdivision pattern & interface with rural edges	Proposed lots (583.8 m ² & 662.3 m ²) exceed minimum 450 m ² ; subdivision maintains spatial transition between suburban and rural edges.	Subdivision maintains intended village interface and complies with LEP objectives.
Visual amenity and streetscape	Design refined per Heritage Advisor: single-storey, weatherboard cladding, Colorbond roof, heritage colours, side-facing garages.	Revised design sympathetic to Millthorpe's traditional scale and character.
Landscaping & screening to boundaries	Landscape Plan submitted: 3 front trees, hedges along boundaries, 2 shade trees in each rear garden, shrubs for screening.	Landscaping deemed adequate; reinforces heritage garden character and mitigates visual impact.
Impact on key vistas (Glenorie Road entry)	HIS confirmed no impact on key village vistas or significant view corridors.	Glenorie Road entrance character preserved; development minimally visible.

Whilst potential to subdivide other existing lots is not part of consideration of this application, it is understandable that Council would be interested in the potential for subdivision of other lots. Whilst it does not appear to be the landowner's current intent, the submission of future applications could not be

discounted and if this occurs an assessment on merits would have to occur. However, lots 13, 14, 17, 18, 19, 20, 21 and 22 of subdivision DA60/2020 would be expected to remain generally larger in size and not further subdivided into smaller allotments or contain dual occupancy and/or multi dwelling housing. The matters raised in Development Assessment Report for DA60/2020 which created these allotments would remain valid considerations should applications be lodged.

Finally, 24 Knox Place (lot 11) being central to the original subdivision, not adjoining RU1 Primary Production zoned land the proposed development is appropriate in this instance and meets the intent of the matters raised in Development Assessment Report for DA60/2020.

Risk/Policy/Legislation Considerations:

Development applications are assessed in accordance with the matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act.

Budget Implications:

N/A

Enclosures (following report)

1	DA2024/63 Assessment Report	32 Pages
2	DA2024/63 Additional Information	4 Pages
3	DA2024/63 Heritage Impact Statement	28 Pages
4	DA2024/63 Plans	15 Pages

Attachments (separate document)

5	DA2024/63 Submission	3 Pages
<i>This matter is considered to be confidential under Section 10A(2) (e) of the Local Government Act, as it deals with information that would, if disclosed, prejudice the maintenance of law.</i>		

Application Details:

Application Number:	DA2024.0063
Development:	Detached Dual Occupancy and 2 Lot Subdivision
Applicant:	Brett North, Andrew Crump Town Planning
Owner:	Morgan Family Property Holdings Pty. Ltd.
Lodgment date:	04/09/2024
Land:	Lot 11, DP 1291217, 24 Knox Place, Millthorpe
Local Environmental Plan:	Blayney Local Environmental Plan, 2012
Zoning:	R1 General Residential
Development Control Plans	Blayney Development Control Plan, 2018
Designated/integrated development:	Local Development
Referrals:	Engineer, Referred: Response Received, conditions imposed Building Officer, Referred: Response received, conditions imposed. Heritage Advisor, Referred: Response received, conditions imposed. Central Tablelands Water, Referral not required.
Notification/advertising dates:	Neighbour notification: 05/09/24 to 19/09/24. No submissions received. Renotification was undertaken from 17/7/2025 to 31/7/2025. One submission was received.
Report author:	Mark Hitchenson
DP restrictions:	Easement to drain sewer, Restriction on the use of land relating to fencing.
Former land use/contamination:	No
STP Buffer:	No

EXECUTIVE SUMMARY

A development application has been lodged seeking Council's consent for the erection of a dual occupancy development and a two lot subdivision at Lot 11, DP 1291217, 24 Knox Place, Millthorpe.

Proposed Lot 1 at the front of the site will be 583.838m² in size and proposed Lot 2 at the rear of the site will be 662.331m². A single-storey detached dwelling will be located on each lot. The rear lot will be a battle-axe lot with a 3m wide access handle. A 6m wide right of carriageway will be provided over part of both lots to cover a 4.5m wide shared driveway.

The location of the subject land is shown below.



Figure 1: The subject property

RECOMMENDATION

The recommendation is for development consent to be granted subject to conditions.

PROPOSED DEVELOPMENT

The application seeks consent for two single-storey dwellings across two proposed lots at 24 Knox Place, Millthorpe. Details of the proposed dwellings are provided below.

Proposed Lot 1	583.838m ²
Dwelling	Four bedrooms, living area of 196.67m ² , 118.5m ² private open space
Proposed Lot 2	662.331m ²
Dwelling	Four bedrooms, living area of 170.05m ² , 176.6m ² private open space

A double garage is proposed for each of dwellings. Access to each lot will be provided from Knox Place via a right of carriageway over both lots.

No clearing is required as the site is cleared of native vegetation. Earthworks to create level pads is proposed with cut of up to 600mm proposed. A retaining wall with a maximum height of 600mm is proposed at the rear of the site.

The dwellings will have weatherboard cladding and a colorbond roof.

Figure 2 below provides the proposed layout of the development.

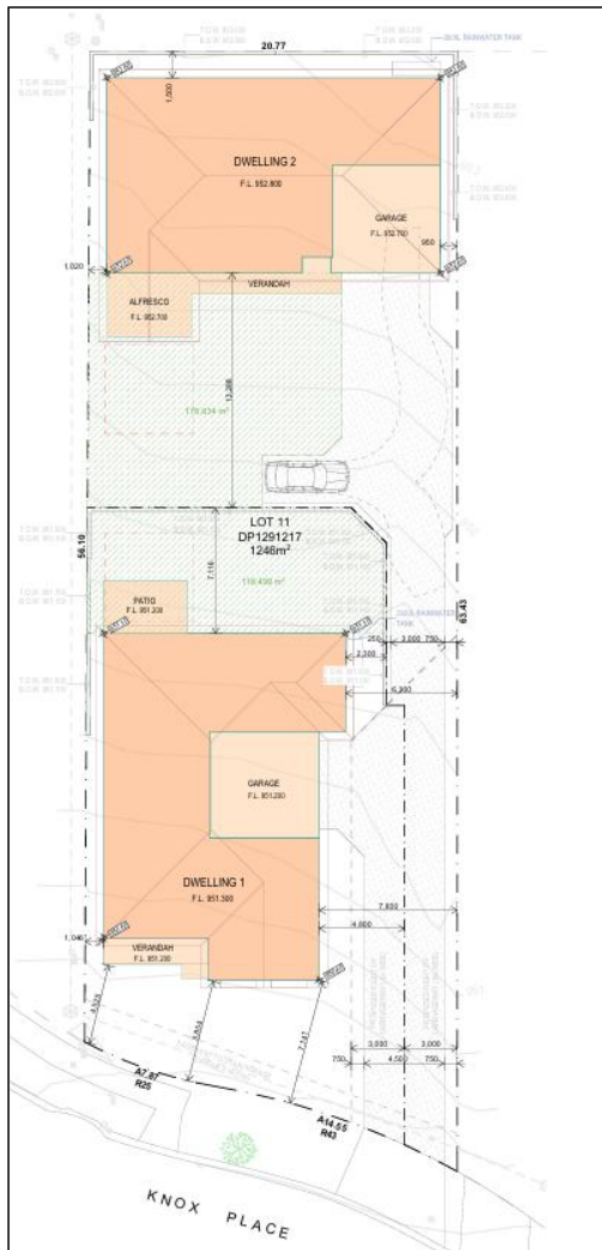


Figure 2: Development Layout

The site is located in the Millthorpe Heritage Conservation Area and therefore Council requested the applicant address the impact of the proposed development on the heritage values of the conservation area and any nearby heritage items. Specifically, Council noted the following:

“The lot was created by a 23 lot subdivision approved in 2021. At the time it was highlighted that 10 lots within the subdivision were well in excess of 450 sq m which led to community concern around further subdivision of these allotments in the future. It was noted at the time that in this regard the layout was acceptable as the larger lot sizes were critical as to how the development would appropriately interface with the surrounding environment, in particular; Glenorie Road, the adjoining RU1 Primary Production land to the east, and more widely how the development will be viewed from Glenorie Road, the wider village, the railway line and the Millthorpe Railway Station. It was also noted

that 61 Forest Reefs Road is within the Millthorpe Heritage Conservation Area and additionally this vista along Glenorie Road was identified in Council's 2020 Blayney Shire Settlement Strategy as being a key entrance to the village and the visual amenity would be protected through the inclusion of larger lots and this would remain a valid consideration for any subsequent application for subdivision.

Additionally, Council is also concerned about the gradual creep of additional lots and occupancies upon the capacity of its reticulated sewerage system."

Council requested the applicant provide a detailed submissions addressing the abovementioned matters, including:

- *Provide sufficient information in an amended SEE regarding the history of the lot to be subdivided/developed and provide an outline of the identifiable impacts and how they will be addressed.*
- *Outline in the amended SEE how the development would protect and preserve the interface with the surrounding environment which had previously been addressed by larger lot sizes.*
- *Outline in an amended SEE how the proposal would impact on the vista along Glenorie Road, being a key entrance to the village, and how the visual amenity would be protected. This should also include an outline of this impact in heritage terms.*
- *Landscaping – Whilst it would require assessment, one method of addressing concerns may be through the provision of landscaping. The level of planting provided to the property boundaries of the proposal would be critical and suitable tall planting to the rear/south, east and western boundaries may assist. This may of course impact on the proposed built development. Should you wish to proceed you would be advised to submit a landscaping plan including suitable tall growing species to the rear/south, east and western boundaries.*

In response to the above, the applicant provided a Heritage Impact Statement (HIS). The HIS stated that:

"With regard to the relative visual isolation of Knox Place from Millthorpe proper, it is the view of this report that the subject land and the majority of its subdivision—historically, part of a paddock system and/or grounds of The Pines (itself, arguably contributory, dependent on intactness/integrity)—are not contributory components of the HCA. However, the ambiguous descriptor of 'neutral' is perhaps a more suitable classification for the subject property, given that in its vacant state, in that it neither adds to nor subtracts from the precinct."

The HIS concludes that *"the scheme would have, at worst, only a minimal level of noticeability from a limited number of general (not significant) vantages points within the townscape of the Millthorpe HCA. It is incontestable that the development would not have any adverse impacts on important sightlines or vistas from within or outside the Millthorpe HCA or as relevant to 'in the vicinity' heritage items.*

Moreover, the new work would not, in of itself, disrupt the legibility of the village's fine-grain development pattern or relationship to its more 'open' hinterland, noting the low magnitude of the scheme and its location between existing suburban development (west) and rural blocks (east) within an already approved suburban cul-de-sac subdivision."

The development application was renotified from 17 July 2025 to 31 July 2025, with one submission received.

Section 1.7 – Application of Part 7 of the *Biodiversity Conservation Act 2016* and Part 7A of the *Fisheries Management Act 1994*

Section 1.7 of the EP&A Act 1979 identifies that Part 7 of the *Biodiversity Conservation Act 2016* and Part 7A of the *Fisheries Management Act 1994* have effect in connection with terrestrial and aquatic environments.

Having regard to the relevant provisions and given the site is cleared of native vegetation, it is considered that the proposed development does not exceed the Biodiversity Offset Scheme threshold and is not likely to have a significant effect any threatened species, population or ecological communities or their habitats.

SECTION 4.15 EVALUATION

Matters for Consideration – General

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

Section 4.15(1)(a)(i) The provisions of any Environmental Planning Instrument

Blayney Local Environmental Plan 2012

Part 1 – Preliminary

Clause 1.2 Aims of Plan

The proposed development is considered to be consistent with the broad aims of the *Blayney Local Environmental Plan 2012* (BLEP 2012). Relevant issues are addressed in the body of this report.

(2) The particular aims of this Plan are as follows—

(aa) to protect and promote the use and development of land for arts and cultural activity, including music and other performance arts,

Comment – Not relevant to this proposal

(a) to encourage development that complements and enhances the unique character and amenity of Blayney including its settlements, localities, and its rural areas,

Comment – The development was considered by Council's Heritage Advisor who supported the development subject to a number of recommendations. The applicant reviewed those recommendations and made a number of the recommended changes. In addition, the applicant provided a Heritage Impacts Statement addressing issues raised by Council regarding the potential impact of the proposed development on the Millthorpe Heritage Conservation Area. On balance, the design of the proposed development is considered to be complimentary to the character of existing residential development in the heritage conservation area of Millthorpe.

(b) to provide for a range of development opportunities that will contribute to the social, economic and environmental resources of Blayney in a way that allows present and future generations to meet their needs by implementing the principles of ecologically sustainable development,

Comment – The proposed development will provide additional housing opportunities in a manner that meets the energy efficiency commitments outlined in the BASIX Certificate submitted with the development application.

(c) to facilitate and encourage sustainable growth and development that—

(i) avoids and minimises risks to human life and property and minimises the cost of development by restricting development in areas prone to natural hazards and significant environmental constraints, and

Comment – Properly carried out, with the support of appropriate consent conditions, the development will pose no threats to life or property, nor is the development to occur in an area prone to natural hazards or significant environmental constraints.

(ii) protects, enhances and conserves prime agricultural land and the contribution that agriculture makes to the regional economy, and

Comment - The development is to occur on residentially zoned land and will have no significant impact on prime agricultural land. The development will have no detrimental impacts upon agriculture within the regional economy.

(iii) avoids or minimises impact on drinking water catchments to protect and enhance water availability and safety for human consumption, and

Comment – The development site is not situated within a drinking water catchment as identified in the Blayney Local Environmental Plan 2012 Drinking Water Catchment Maps. Therefore, it will have no impact upon drinking water catchments.

(iv) protects and enhances environmentally sensitive areas, ecological systems, areas of a high scenic, recreational or conservation value, and areas that have potential to contribute to improved environmental and scenic outcomes, and

Comment - The development is not situated within an environmentally sensitive area; an area of high scenic recreational or conservation value; nor within an area occupied by significant ecological systems. The proposal will have no impact in this regard.

(v) protects and enhances places and buildings of environmental, archaeological, cultural or heritage significance, including Aboriginal relics and places, and

(vi) encourages the sustainable management, development and conservation of natural and human-made resources whilst avoiding or minimising any environmental and social impacts, and

Comment - The development proposal is located in a heritage conservation area, however, subject to conditions, the proposed development will contribute positively to the streetscape. No known aboriginal relics or places are situated on the site, however, if any artefact or relics found during development works, the proponent will be bound to comply with the notification provisions of the National Parks and Wildlife Act. The proposal will respect the sustainable management, development and conservation of natural and human-made resources and is anticipated to have nil or negligible environmental and social impacts.

(vii) encourages a range of housing choices in planned urban and rural locations to address population growth and meet the diverse needs of the community, and

Comment - The proposal will allow for future residential development and housing choice compatible with the existing character and standard of development, supported by the Blayney Development Control Plan.

(viii) allows for the orderly growth of land uses while minimising conflict between land uses within the zone and land uses within adjoining zones, and

Comment - The proposal represents a suitable redevelopment of a residential lot and it is considered that the proposal is unlikely to cause land use conflicts.

(ix) promotes the efficient and effective delivery of utilities, infrastructure and services that minimises long-term costs to government, authorities and the community.

Comment - The development is to be serviced with reticulated water, sewer electricity and telecommunications. This will be borne by the developer. Standard long-term cost obligations that would be borne by the Council would include general road maintenance and ongoing payment of street lighting costs. These are standard obligations borne by councils in response to the development of residential land.

Clause 1.7 Maps

Land zoning:	R1 General Residential
Lot size:	The minimum lot size for the subject land is 450m ² . The proposed lots are 583.838m ² and 662.331m ² in size and therefore comply with the minimum lot size.
Heritage:	The subject site is situated within a heritage conservation area, but does not contain a heritage item. There are no heritage items in the vicinity of the site. The proposed development is considered to be designed appropriately and will have no significant impact on the heritage conservation area.
Terrestrial biodiversity:	The subject site is not identified as 'biodiversity' pursuant to the councils LEP terrestrial biodiversity mapping
Groundwater vulnerability:	The land is not identified as having groundwater vulnerability pursuant to the LEPs groundwater vulnerability mapping.
Drinking water catchment:	The land is not situated within a drinking water catchment
Watercourse:	The subject site is not identified on the Riparian Land and Waterways" on the Riparian Land and Waterways Map.
Flood:	The site is situated outside land affected by the LEPs floodwater mapping.
STP Buffer:	The site is situated outside the STP and Waste Depot buffer areas.

Clause 1.9A – Suspension of Covenants, Agreements and Instruments

Clause 1.9A provides that covenants, agreements and other instruments which seek to restrict the carrying out of development do not apply with the following exceptions:

- a covenant imposed by the Council or that the Council requires to be imposed, or
- any prescribed instrument within the meaning of section 183A of the Crown Lands Act 1989, or
- any conservation agreement within the meaning of the National Parks and Wildlife Act 1974, or
- any Trust agreement within the meaning of the Nature Conservation Trust Act 2001, or
- any property vegetation plan within the meaning of the Native Vegetation Act 2003, or

- any biobanking agreement within the meaning of Part 7A of the Threatened Species Conservation Act 1995, or
- any planning agreement within the meaning of Division 6 of Part 4 of the Act.

This clause does not affect the rights or interest of any public authority under any registered instruments.

The site is affected by an easement to drain sewer. The proposed development does not impact negatively on the easement. A Restriction on the use of the land applies to require boundary fencing to be timber unless otherwise approved by Council. A condition to this effect is recommended.

Part 2 – Permitted or prohibited development

Clause 2.1 Land Use Zones and Clause 2.3 Zone Objectives and Land Use Table

The subject property is zoned R1 General Residential. The objectives of the R1 zone are:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The proposed development is consistent with the above objectives as it provides new housing in an appropriate location to support the viability of businesses and services in Millthorpe.

Part 4 – Principal development standards

Clause 4.1 Minimum Lot Size

The minimum lot size for the subject land is 450m². The proposed lots are 583.838m² and 662.331m² in size and therefore comply with the minimum lot size.

Part 5 – Miscellaneous Provisions

Clause 5.10 Heritage Conservation

The subject site is situated within a heritage conservation area, but does not contain a heritage item. There are no heritage items in the vicinity of the site. The proposed development is considered to be designed appropriately and will have no significant impact on the heritage conservation area.

Council's Heritage Advisor provided Pre-DA advice on the proposed development. The following table outlines the Heritage Advisor's suggestions, the applicant's response and a recommended solution.

Heritage Advisor's Comment	Applicant's Response	Comment / Recommendation
Character <ul style="list-style-type: none"> • The character of the new dwelling is appropriate; • The interpretation of a traditional house with Millthorpe details in particular is supported. 	N/A	Noted
Siting <ul style="list-style-type: none"> • The varied setback and front details at front boundaries are supported 	N/A	Noted

<p>to avoid suburban siting which is uncharacteristic of Millthorpe while at the same time not reducing amenity of neighbours</p> <ul style="list-style-type: none"> The rear yard and smaller garden are characteristic of the village and are supported The modelling of front, rear and side are appreciated. 		
<p>Scale</p> <ul style="list-style-type: none"> The single storey Millthorpe house is appreciated. 	N/A	Noted
<p>Bulk</p> <ul style="list-style-type: none"> A varied internal height is supported and the hipped roof elements achieve this. 	N/A	Noted
<p>Materials</p> <ul style="list-style-type: none"> Weathertex Classic 200 weatherboard is accepted subject to noting on the drawing. 	The plans note “Painted lightweight smooth weatherboard cladding”.	Weathertex Classic 200 is a smooth weatherboard. The notation of the proposed materials on the plans is considered acceptable.
<p>Architectural details</p> <ul style="list-style-type: none"> Gutters are to be traditional smooth unperforated quad in a galvanised material. Note on the drawing. Downpipes are to be circular and painted to match the adjoining wall colour and all roof flashings are to be the traditional rolled type to ridges, hips and gables. Note on the drawing. The use of a standard colour for the garage door which is similar to or a shade darker the wall colour is recommended in order that the door & its colour not draw attention to itself. The use of toplight windows in the garage door is recommended as these are typical of traditional garage doors and also offer a practical benefit. 	<p>Gutters are proposed to be colorbond to match the roofing material.</p> <p>Downpipe materials are not specified on the plans. Details of roof flashings have also not been provided.</p> <p>The garage door for the rear dwelling will be darker than the wall colour.</p> <p>The garage door for the front dwelling is in the side elevation and not visible from the street.</p> <p>The garage door for the rear dwelling is proposed with toplight windows.</p> <p>The garage door for the front dwelling is in the side elevation and not visible from the street.</p>	<p>Given the site is not located in or close to the historical village centre, the proposed gutters are considered acceptable.</p> <p>A condition is recommended that the downpipes be circular and painted to match the wall colour and that the roof flashing be the traditional rolled type.</p> <p>The proposed garage door details are considered acceptable.</p> <p>The proposed garage door details are considered acceptable.</p>

<ul style="list-style-type: none"> The base of the foundation slab edge below the cladding is to be Basalt. As the front verandah is a minimal structure on the elevation, the posts should be paired ex 150mm posts with a spacing of 120mm. The post and beam colour should be a lighter differentiated from the wall colour. 	<p>The slab edge is proposed to be basalt.</p> <p>The posts for the front verandah of the front dwelling are paired and will be a lighter colour than the walls.</p>	<p>Noted.</p> <p>Noted.</p>
<p>Colour</p> <ul style="list-style-type: none"> Basalt is the dark colour which is supported where a dark colour is requested such as the foundation Wall colours should generally reflect and interpret their material and those colours generally associated with that material: Wall colours for weatherboards include Pale Stone, regency White, Portland Stone, Domain, Paperbark, Ecrú and Hogs Bristle. Sharp contemporary whites are not supported and in this case the building is backgrounded by the hillside beyond Roofs are fine in the Galvanised finish. Downpipes are always circular and painted to match the adjoining wall. 	<p>The colours proposed are:</p> <ul style="list-style-type: none"> Dulux Basalt for slab edge. Dulux natural white for posts. Colorbond Surfmist for gutters and fascia. Colorbond Shale Grey for front dwelling. Colorbond Ironside for roof of rear dwelling. Dulux Lime White for weatherboard cladding of front dwelling. Dulux Flooded Gum Quarter for weatherboard cladding of rear dwelling 	<p>The proposed colours are considered acceptable. As noted above, a condition is recommended that the downpipes be circular and painted to match the wall colour.</p>
<p>Landscape</p> <ul style="list-style-type: none"> The driveway is either to have a pebble-crete or equal finish or a full colour dark grey oxide colouring such as CCS Onyx44 to reflect the village character of Basalt. 	<p>Driveway details have not been specified in the application, thought the plans indicate a dark colour.</p>	<p>The indication of a dark colour for the driveway is considered acceptable.</p>
<ul style="list-style-type: none"> Plant species are to be selected to suit the local soil and climate and required to complement the setting of the new subdivision and 	<p>A Landscape Plan has been submitted with the development application.</p>	<p>The Landscape Plan is considered acceptable.</p>

<ul style="list-style-type: none"> • dwellings in this former open rural landscape. 		
<ul style="list-style-type: none"> • A minimum of 3 trees to frame the front elevation and presentation to the streetscape are recommended. 	Three trees are proposed in the front of the front dwelling.	The Landscape Plan is considered acceptable.
<ul style="list-style-type: none"> • A hedge or shrubs to align with & identify the front boundary. 	Shrubs that can be hedged are proposed along the front boundary.	The Landscape Plan is considered acceptable.
<ul style="list-style-type: none"> • Screening shrubs to align with the side and rear boundaries sufficient to allow for screening to and from the outdoor spaces of the adjoining properties. 	Hedge plants are proposed along the driveway and between private open space areas.	The Landscape Plan is considered acceptable.
<ul style="list-style-type: none"> • A minimum of two trees to the rear garden to provide for shading from the summer sun and privacy while reinforcing traditional Millthorpe gardens. 	At least two tree are proposed in each private open space area.	The Landscape Plan is considered acceptable.
<ul style="list-style-type: none"> • Groundcovers and shrubs are supported to the front garden to minimise the extent of lawn and turf. 	The front setback area contain a mix of shrubs, trees and lawn area.	The Landscape Plan is considered acceptable.

In addition, the applicant provided a Heritage Impact Statement (HIS) addressing issues raised by Council regarding the potential impact of the proposed development on the Millthorpe Heritage Conservation Area.

The HIS concludes that *“the scheme would have, at worst, only a minimal level of noticeability from a limited number of general (not significant) vantage points within the townscape of the Millthorpe HCA. It is incontestable that the development would not have any adverse impacts on important sightlines or vistas from within or outside the Millthorpe HCA or as relevant to ‘in the vicinity’ heritage items.*

Moreover, the new work would not, in of itself, disrupt the legibility of the village’s fine-grain development pattern or relationship to its more ‘open’ hinterland, noting the low magnitude of the scheme and its location between existing suburban development (west) and rural blocks (east) within an already approved suburban cul-de-sac subdivision.”

Given the above, the proposed development is considered to be appropriately designed and will have no significant impact on the heritage conservation area.

Part 6 – Additional local provisions**Clause 6.2 Stormwater Management**

Clause 6.2 requires that development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that the development is designed to maximise the use of water permeable surfaces on the land having regard to the soil characteristics affecting on-site infiltration of water, and includes, if practicable, on-site stormwater retention for use as an alternative supply to mains water, groundwater or river water, and avoids any significant adverse impacts of stormwater runoff on adjoining properties, native bushland and receiving waters, or if that impact cannot be reasonably avoided, minimises and mitigates the impact.

The development application was referred to Council's Infrastructure Services department for review and comment. Stormwater discharge from the development to Knox Place was deemed to be satisfactory. Subject to the recommended conditions, the proposal is considered satisfactory in relation to stormwater management.

Through referral, assessment and comment from Council's Infrastructure Services Department, the provisions of this clause have been properly considered and council is satisfied the development is designed to maximise the use of water permeable surfaces on the land. There are no impacts on groundwater or river water and no significant adverse impacts of stormwater runoff on adjoining properties, native bushland or receiving waters. It is not practicable for on-site stormwater retention to be used as an alternative supply to mains water.

Clause 6.8 Essential services

Clause 6.8 requires that development consent must not be granted to development unless the consent authority is satisfied that any of the services that are essential for the development are available or that adequate arrangements have been made to make them available when required.

Essential services are identified as the supply of water, the supply of electricity, the disposal and management of sewage, stormwater drainage / conservation and suitable vehicle access. Both dwellings are proposed to be serviced with reticulated water, sewer, electricity and telecommunications. Vehicular access is to be provided to the development from Knox Place. Stormwater will be discharged to Knox Place.

The development application was referred to Council's Infrastructure Services Department who have recommended conditions of consent in relation to servicing and access.

State Environmental Planning Policy (Resilience and Hazards) 2021

State Environmental Planning Policy (Resilience and Hazards) 2021 requires that a consent authority must not consent to the carrying out of development of land unless it has considered whether the land is contaminated; is satisfied that the land is suitable in its contaminated state for the development that is proposed, and if the land requires remediation to be made suitable for the proposed development it is satisfied that the land will be remediated before the land is used for that purpose.

Furthermore, the SEPP requires before determining an application to carry out development that would involve a change of use of land, the consent authority must consider a preliminary investigation of the land concerned. A change of use refers to:

- (a) land that is within an investigation area,

(b) land on which development for a purpose referred to in Table 1 to the contaminated land planning guidelines is being, or is known to have been, carried out,

(c) to the extent to which it is proposed to carry out development on it for residential, educational, recreational or child care purposes, or for the purposes of a hospital - land:

(i) in relation to which there is no knowledge (or incomplete knowledge) as to whether development for a purpose referred to in Table 1 to the contaminated land planning guidelines has been carried out, and

(ii) on which it would have been lawful to carry out such development during any period in respect of which there is no knowledge (or incomplete knowledge).

The land is **not** within an Investigation Area. There is no evidence of any previous uses of the land identified in Table 1 of the Contaminated Land Planning Guidelines.

The land has recently been subdivided for residential purposes. As part of that development application, consideration was given to potential contamination issues. The assessment report for the subdivision DA states as follows:

Information submitted with the development application indicates that the subject property does not appear to have been used for a potentially contaminating land use identified in Table 1 of the Managing Land Contamination Planning Guidelines SEPP55 – Remediation of Land.

Further, information states that the subject property has long been used for rural residential purposes, with no evidence of potential contamination. As such, it is considered that the subject property is suitable for subdivision and future residential use.

The subject land is therefore considered suitable for the proposed development.

State Environmental Planning Policy (Sustainable Buildings) 2022

A BASIX Certificate have been provided for the dwellings, demonstrating that the development can meet the energy, thermal comfort and water targets.

Section 4.15(1)(a)(ii) Any proposed instrument that is or has been the subject of public consultation under the Act and has been notified to the consent authority

Not applicable.

Section 4.15(1)(a)(iii) Any Development Control Plan

Blayney Shire Development Control Plan 2018

Part A: Introduction

Part A1.11 Variation to Controls

The proposal seeks a variation to the following control:

- C5.4 Setbacks, in relation to the side boundaries.

As discussed below, the variations are considered acceptable. Compliance with the controls is considered unreasonable or unnecessary in the circumstance. It is considered that the objectives of the controls have been satisfied and there are sufficient environmental planning grounds to justify the

departure from the controls. The impacts of the non-compliant proposal will not be significantly greater than a compliant proposal.

Part C: Residential Development

Part C5 Medium Density Housing

Objective/Performance Criteria	Assessment Comments
C5.1 State Environmental Planning Policies	Not applicable.
C5.2 Suitability of the Site	The subject land is located in the R1 General Residential zone in which dual occupancy development is permitted with consent. The site is located within reasonable distance of the Millthorpe village centre where services, transport and public open space are available. The proposal will not have significant impacts on the amenity or character of Millthorpe.
C5.3 Minimum Street Frontage Density / Site Area	Not applicable.
C5.4 Setbacks	<p>The front setback to Knox Place is 4.525m and therefore complies. The garages are accessed off the side elevation and therefore do not front a public road.</p> <p>The rear boundary setback is 1.5m and therefore complies.</p> <p>The side boundary setbacks are 950mm to the western boundary and 1.02m to the eastern boundary, less than the 1.5m requirement. A variation to this request has been made for the following reasons:</p> <ul style="list-style-type: none"> • <i>The neighbouring land to the east is a wide access handle to the large residential lot to the rear (i.e. battle-axe lot), which will comprise a future driveway and landscaping.</i> • <i>This neighbour's future dwelling will be located to the rear of the proposed dual occupancy. The rear boundary setback complies with the DCP. As such, there will be no discernible impacts to the rear neighbour.</i> • <i>The neighbouring land to the west comprises an existing dwelling house, which is set some 11m from the shared boundary and therefore is well separated from the proposed dual occupancy.</i> • <i>The side wall of the proposed rear dwelling extends along only 17% of the western boundary, and will be adjacent to the neighbour's rear garden, which comprises mature vegetation.</i> • <i>Further, the proposed dwelling has been designed to ensure there is no adverse visual bulk along this boundary, and only comprises</i>

	<p><i>windows to the ensuite and walk-in-wardrobe, therefore there will be no privacy impacts or overlooking to the neighbour.</i></p> <ul style="list-style-type: none"> <i>It should be noted that the development would comply with the DCP side setback controls for single dwellings (i.e. >900mm) if subdivision was to occur as the first stage in the proposed sequencing of the development.</i> <i>Overall, the proposed variation to side setbacks will not result in inconsistency of built form within the street; will not impact on road function; will not be significantly greater than a compliant proposal; meets the National Construction Code setback requirements (fire ratings, etc); and the overarching objectives of the DCP can still be achieved.</i> <p>The proposal is considered satisfactory in relation to the side boundary setback for the reasons outlined above.</p>
C5.5 Site Coverage	<p>With a site area of 1246m² and a site coverage (including driveways and hard stand areas of 746.66m², the site coverage is 59.9%, less than the maximum 70%.</p>
C5.6 Height & Solar Access	<p>The proposed dwellings are single-storey and less than the maximum 9m. The proposal will not have unacceptable shadowing impacts on adjoining properties.</p>
C5.7 Presentation to Street & Vehicle Driveways	<p>The development presents as a single dwelling to Knox Place, with a clear dwelling entrance and living room and bedroom windows facing the street. No large areas of blank walls are proposed. The garages are accessed from the side elevation and are therefore not visible in the streetscape.</p>
C5.8 Noise & Visual Privacy	<p>The dwellings are detached and separated by more than 20m. There is adequate setback between the internal driveway and the window of bedroom 4 in Dwelling 1 to provide for landscaping. The proposal is considered satisfactory in relation to noise and visual privacy.</p>
C5.9 Private Open Space	<p>Each dwelling has a private open space area greater than 40m² and containing the minimum 4m by 4m primary open space area. The private open space area for Dwelling 1 has a southern orientation, but is directly accessible from internal living areas and will not be visible from public places. This private open space area will receive adequate solar access in the morning and afternoon.</p> <p>The private open space area for Dwelling 2 has a northern orientation.</p>

C5.10 Landscaping and Deep Soil	Adequate room is available for deep soil landscaping.
C5.11 Fencing	No front fencing is proposed. A condition requiring timber fencing on side and rear boundaries and the proposed lot boundary is recommended.
C5.12 Landscaping & Private Open Space	The proposal can comply with the BASIX commitments.
C5.13 Solid Waste Management	The proposal can comply, with room for garbage bins at the side or rear of the front dwelling. Garbage bins for the rear dwelling will not be visible from the street.
C5.14 Adaptability	Not applicable.

Part C7 Access and Parking

Objective/Performance Criteria	Assessment Comments
C7.1 Vehicle Parking	The DCP requires one space per dwelling plus room for a second vehicle in the driveway. The proposal complies.
C7.2 New Driveways & Entrances (Urban Areas)	The proposed driveway is considered satisfactory. The design allows for turning of vehicles to enter and leave in a forward direction.
C7.3 New Access, Entrances & Driveways (Rural Areas)	Not applicable

Part C8 Site Planning, Earthworks and Utilities

Objective/Performance Criteria	Assessment Comments
C8.1 Site Planning	The design of the development is considered satisfactory having regard to topography, climate and natural environment. The proposal is considered a positive addition to the streetscape and will have no significant impact on the heritage conservation area. The proposal maintains reasonable residential amenity for the proposed and future adjacent dwellings.
C8.2 Water & Energy Efficiency	A BASIX Certificate was submitted with the development application.
C8.3 Design Principles (Advisory only)	The design of the development is considered satisfactory having regard to the relevant principles.
C8.4 Earthworks	Cut of up to 600mm is proposed at the rear of the site. The cut will be contained by a retaining wall. The extent of earthworks is considered reasonable and will have no detrimental impacts on drainage or adjoining properties.
C8.5 Building near Utilities/Easements	The proposal avoids building over easements and utilities.
C8.6 Connection to Utilities	The development will be connected to all essential utilities.
C8.7 Siting & Visibility of Utilities	The proposal can comply.

C8.8 Water Tanks	As the site is connected to reticulated water supply, this control is not applicable. It is noted that water tanks are proposed to be provided.
C8.9 On-Site Sewage Management	Not applicable.
C8.10 Re-Use of Water	Water re-use for internal plumbing is not proposed. Rainwater tanks will supply water for landscaped areas.
C8.11 Solid Waste Management	The proposal can comply.
C8.12 Letterboxes	The proposal can comply.
C8.13 Street Numbering	The proposal can comply.

Part F: Subdivision & Roads

Part F2 Site Planning & General Subdivision

Objective/Performance Criteria	Assessment Comments
F2.1 Site Planning	The proposed subdivision is considered suitable for the site and provides appropriately sized lots suitable for the proposed dwellings. The subdivision will not have detrimental environmental impacts and will ensure minimal impacts on the amenity of adjoining properties.
F2.2 Topography & Earthworks	Earthworks will be less than 1m in depth, but will be within 1m of the side and rear boundaries. The retaining wall will be wholly located on the subject property and will have no detrimental impacts on adjoining properties.
F2.3 Lot Size & Arrangement	The Minimum Lot Size for the subject land is 450m ² , and both proposed lots exceed this minimum. The proposed lot size, shapes and provision for road frontage is considered appropriate. A reciprocal right of carriageway is proposed.
F2.4 On-Site Effluent Management	Not applicable to this development.
F2.5 Access & Entrances	Access to both lots will be provided from Knox Place. A reciprocal right of carriageway is proposed. Access is considered satisfactory.
F2.6 Access - Rights of Way & Battle-Axe Lots	The proposed development meets the requirements for favourable consideration of rights of way and battle-axe lots.
F2.7 Utilities/Easements	Each proposed allotment will be required to be connected to all relevant utilities as required, including water, sewer, electricity, gas (if available), telecommunications and stormwater drainage.
F2.8 Staging	The applicant outlines the following stages for the development: 1. Erection of dwellings 2. Two lot subdivision

	The staging plan is considered appropriate and each stage will not compromise the overall development outcomes.
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Section F3 Residential Subdivision in Urban Areas

Note: The DCP states that this section applies to R1 zoned land in the town of Blayney and is therefore not strictly applicable to this proposal. However, an assessment has been done and any variations to the development controls are considered (though a request for variation from the applicant is not required).

Objective/Performance Criteria	Assessment Comments
F3.1 Lot Size & Arrangements – General	The plans submitted with the development application demonstrate good solar access to the dwellings. The low scale of the development will ensure no overlooking or overshadowing of adjoining properties.
F3.2 Access to Battle-Axe Lots (Limited Road Frontage)	The proposed battle-axe handle for Lot 2 is 3m wide, however the overall width of the proposed reciprocal right of carriageway is 6m with a 4.5m driveway pavement and is therefore considered acceptable.

Part G Environmental Management and Hazard

Part G3 Stormwater and Drainage

Objective/Performance Criteria	Assessment Comments
G3.2 Objectives	The proposal can meet the objectives.
G3.3 Stormwater Management	Council's Engineers have assessed the proposal and recommended conditions of consent.

Part G6 Land Contamination

Objective/Performance Criteria	Assessment Comments
G6.2 Objectives	The land has recently been subdivided for residential purposes. As part of that development application, consideration was given to potential contamination issues and the site was deemed to be suitable for residential development. The subject land is therefore considered suitable for the proposed development.

Part G9 Land and Soils

Objective/Performance Criteria	Assessment Comments
G9.2 Objectives	The proposal can meet the objectives.
G9.3 Naturally Occurring Asbestos	The site is not known to contain naturally occurring asbestos.
G9.4 Erosion and Sedimentation	Appropriate conditions regarding erosion and sediment control are recommended.
G9.5 Other Geological or Soil Related Issues	Not applicable.

Part H Heritage**Part H5 Development within Heritage Conservation Areas**

Objective/Performance Criteria	Assessment Comments
H5.1 Scale and Form	The scale and form of the development is considered appropriate. The design was supported by Council's Heritage Advisor.
H5.2 Siting	There is no established setback in the street. The setback of the proposed front dwelling complies with the setback requirements of the DCP.
H5.3 Materials and Colours	As noted above, the proposed colour scheme is considered acceptable.
H5.4 Doors and Windows	Not applicable (the controls relate only to heritage buildings).
H5.5 Outbuildings	Not applicable
H5.6 Fencing	No front fencing is proposed. A condition requiring timber fencing on side and rear boundaries and the proposed lot boundary is recommended.
H5.7 Advertising and Signage	Not applicable.

As noted above, the applicant provided a Heritage Impacts Statement (HIS) addressing issues raised by Council regarding the potential impact of the proposed development on the Millthorpe Heritage Conservation Area.

The HIS concludes that *"the scheme would have, at worst, only a minimal level of noticeability from a limited number of general (not significant) vantage points within the townscape of the Millthorpe HCA. It is incontestable that the development would not have any adverse impacts on important sightlines or vistas from within or outside the Millthorpe HCA or as relevant to 'in the vicinity' heritage items.*

Moreover, the new work would not, in of itself, disrupt the legibility of the village's fine-grain development pattern or relationship to its more 'open' hinterland, noting the low magnitude of the scheme and its location between existing suburban development (west) and rural blocks (east) within an already approved suburban cul-de-sac subdivision."

Developer Contributions

Development contributions for the new lot were applied at the subdivision stage. The proposed development proposes the creation of one additional lot and dwelling. Contributions will therefore be levied for one additional lot/dwelling under Council's Infrastructure Contributions Plan. Contributions for Sewer and Central Tablelands Water will also be required.

Section 4.15(1)(a)(iiia) Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

Not applicable.

Section 4.15(1)(a)(iv) The Regulations

- **In the case of a development application for the demolition of a building, the provisions of AS 2601 (Clause 92)**
N/A
- **In the case of a development application for the carrying out of development on land that is subject to a subdivision order made under Schedule 7 to the Act, the provisions of that order and of any development plan prepared for the land by a relevant authority under that Schedule (Clause 92)**
N/A
- **Fire safety and other considerations (Clause 93)**
N/A
- **Buildings to be Upgraded (Clause 94)**
N/A
- **BASIX Commitments (Clause 97A)**
An appropriate condition will be applied.

Section 4.15(1)(b) The likely impacts of the development, including environmental impacts both the natural and built environments, and social and economic impacts in the locality

This has been substantially addressed in the balance of this report. The development can be carried out with minimal environmental impact and new housing stock will provide positive social and economic developments in the future.

Section 4.15(1)(c) The suitability of the site for the development

The foregoing assessment demonstrates that the subject property is suitable for the proposed development.

Cumulative Impacts

New residential development within the village of Millthorpe creates opportunities for home ownership, improves housing stock quality and promotes economic activity in the building industry.

Section 4.15(1)(d) Any submissions made in accordance with this Act or the regulations

One submission was received to the second notification of the development application. Issues raised in the submission are addressed below.

1. The diversion from the original approved subdivision as per DA60/2020.

The objector is concerned about the further subdivision of approved lots being inconsistent with the community's expectation that this development is a transition between urban and rural land.

Comment: Notwithstanding the intentions behind the original subdivision of the land and the community's expectations regarding the development outcomes, the original subdivision consent did

not prevent further subdivision of the land and no development restrictions were placed on the lots created. The proposed subdivision complies with the minimum lot size for the land and the applicant has adequately addressed the heritage impacts of the development through the submission of a Heritage Impact Statement.

2. The potential precedent that may be set by the subdivision of 24 Knox Place.

The objector is concerned with the potential further subdivision of 21 and 27 Knox Place and 69 Glenorie Road.

Comment: 21 and 27 Knox Place and 69 Glenorie Road are large enough for further subdivision to be considered. It should also be noted that the lots could be developed with dual occupancies and not subdivided resulting in a similar built form outcome. Any proposed development for subdivision or dual occupancies on these lots would need to be accompanied by a Heritage Impact Statement to address the impacts, and a Statement of Environmental Effects to address issues such as privacy. Any such development applications would also be notified to provide an opportunity for neighbouring land owners to make submissions.

3. Inconsistencies in the application

- The façade of the proposed front dwelling is not in keeping with the developing character of the street with the four dwellings partly and/or fully completed in Knox Place already having a contemporary appearance. It is noted that the “Council’s heritage advisor” has not objected to the design of the front dwelling. The applicant of DA2024/0063 is Mr. Andrew Crump, who has worked for Orange City Council as a planner and heritage advisor. To a ratepayer of the Blayney Shire Council, this would appear to be a distinct advantage to the applicant.

Comment: The proposed façade of the front dwelling is consistent with the design guidelines for dwellings in Knox Place prepared by Council’s Heritage Advisor and as noted by the objector, Council’s Heritage Advisor has supported the front dwelling façade. The use of town planning and heritage professionals is appropriate for the submission of development applications in a heritage conservation area.

- Despite claims that the development will not be visible from key vantage points, the proposed dwellings—particularly the rear battle-axe lot—will increase built form density and reduce the openness that currently characterises the southern edge of the village. This change will be noticeable from Glenorie Road and may diminish the rural transition zone that currently buffers the village from surrounding agricultural land – and indeed our Glenorie Road property.

Comment: The Heritage Impact Statement submitted with the development application assesses the potential impact of the proposed development on the Millthorpe Heritage Conservation Area and concludes that *“the scheme would have, at worst, only a minimal level of noticeability from a limited number of general (not significant) vantages points within the townscape of the Millthorpe HCA”*. This assessment is supported and it is considered that the proposal has been appropriately designed and will have no significant impact on the transition from urban area to rural areas in Millthorpe.

- The proposed landscaping, while noted, does not adequately mitigate the visual bulk of the development. The reduced side setbacks for Dwelling 2 do not comply with the DCP and will result in a cramped appearance inconsistent with the spacious character of the area. The minimal rear setback also limits opportunities for meaningful planting and privacy screening. If approved, this also sets a precedent for other houses within Knox

Place to be built closer to the lot boundaries than currently allowed under the Blayney Development Control Plan 2018.

Comment: A variation to the side boundary setbacks for dwelling 2 has been assessed and is considered appropriate given the large setback to the dwelling on the lot to the west and the large setback to a future dwelling on the lot to the east due to the access driveway to the land to the south. The rear setback complies with Council's requirements. Any future requests for variations to Council's requirements will be assessed on their individual merits.

- If the subdivision of 24 Knox Place did start a precedent and more blocks were approved to be subdivided, Glenorie Road would become increasingly busier and create more pressure at the Knox Place – Glenorie Road intersection with ongoing drainage problems and constant road repairs required as already happens. In addition to traffic flow and volume increases, while the applicant argues that one additional lot will not strain infrastructure, the cumulative effect of similar applications could place pressure on local services, including sewer capacity, traffic, and stormwater systems.

Comment: All development applications proposing subdivision will be considered by Council officers with regards to potential impacts on the local road network and Council utilities. Development applications for subdivision are subject to conditions requiring development contributions that are used to upgrade road and utility infrastructure as required.

Summary / Conclusion

The proposal is permissible with consent of Council. The proposed development complies with the relevant aims, objectives and provisions of BLEP 2012. A Section 4.15 assessment of the development indicates that the development is acceptable in this instance.

Attached is a draft Notice of Decision outlining conditions considered appropriate to ensure that the development proceeds in an appropriate manner.

Statement of Reasons – DA

(a) The Decision

To grant development consent to dual occupancy development and two lot subdivision on Lot 11, DP 1291217, 24 Knox Place, Millthorpe subject to conditions.

(b) The Date Of The Decision

To be inserted.

(c) The Reasons for the Decision (having regard to any statutory requirements applying to the decision)

The proposal satisfies the relevant statutory considerations relating to the development of land, including the provisions of the Environmental Planning and Assessment Act, Blayney Local Environmental Plan and Blayney Development Control Plan and relevant State Environmental Planning Policies.

(d) How Community Views Were Taken Into Account In Making the Decision.

The application was notified in accordance with the provisions of the Blayney Community Participation Plan. No community submissions were received.

Reasons for Decision

The proposal satisfies the relevant statutory considerations relating to the development of land, including the provisions of the Environmental Planning and Assessment Act, Blayney Local Environmental Plan and Blayney Development Control Plan and relevant State Environmental Planning Policies.

Approved Plans

DEVELOPMENT IN ACCORDANCE WITH APPROVED PLANS AND DOCUMENTATION.

1. The development is to take place in accordance with the documentation submitted with the application indicated in the table below and subject to the following conditions.

Plan/Doc No	Plan/Doc Title	Prepared by	Issue	Date
Job No. 24-031, Dwg No. 01	Site Plan	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 02	Landscape Plan	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 03	Subdivision Plan	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 04	Dwelling 1 – Floor Plan	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 05	Dwelling 1 – Floor Finishes	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 06	Dwelling 1 - Elevations	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 07	Dwelling 1 - Elevations	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 08	Dwelling 2 – Floor Plan	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 09	Dwelling 2 – Floor Finishes	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 10	Dwelling 2 - Elevations	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 11	Dwelling 2 - Elevations	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 12	Window Schedule	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 13	Shadows	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 14	Shadows	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 15	Dwelling 1 – Solar Access	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 16	Dwelling 2 – Solar Access	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 17	Views	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 18	Views	Bassman Drafting Services		01/10/2024
Job No. 24-031, Dwg No. 19	Views	Bassman Drafting Services		01/10/2024
1761789	BASIX Certificate	Bassman Drafting Services		27/08/2024
HR-5HNQ5E-02	NatHERS Certificate	Building Energy Ratings and Advice		16/08/2024

HR-N2RQUJ-01	NatHERS Certificate	Building Energy Ratings and Advice		16/08/2024
	Statement of Environmental Effects	Andrew Crump Town Planning		14/08/2024
	Heritage Impact Statement	Touring the Past		16/05/2025

Prescribed Conditions

BUILDING CODE OF AUSTRALIA

2. The building work must be carried out in accordance with the requirements of the Building Code of Australia. A reference to the *Building Code of Australia* is a reference to that Code as in force on the date the application for the relevant construction certificate is made.

IDENTIFICATION OF SITE

3. The developer is to provide a clearly visible sign to the site stating:
- Unauthorised entry to the worksite is prohibited;
 - Street number or lot number;
 - Principal contractor's name and licence number; or owner builders permit number;
 - Principal contractor's contact telephone number/after-hours number;
 - Identification of Principal Certifying Authority, together with name, address & telephone number.

Note: Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

CONTRACT OF INSURANCE

4. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of the Act, evidence that such a contract of insurance is in force is to be provided to the Principal Certifying Authority before any building work authorised to be carried out by the consent, commences.

HOME BUILDING ACT

5. Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the principal certifying authority for the development to which the work relates (not being the Council) has given the Council written notice of the following information:

- in the case of work for which a principal contractor is required to be appointed:
 - The name of the licence number of the principal contractor, and
 - The name of the insurer by which the work is insured under Part 6 of that Act,
- in the case of work to be done by an owner-builder:
 - The name of the owner-builder, and
 - The name of the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

If arrangements for doing the residential building work are changed while the work is in progress so that the information under this condition becomes out of date, further work must not be carried out unless the principal certifying authority for the development to which the work relates (not being the Council) has given the Council written notice of the updated information.

EXCAVATION WORK

6. Where any excavation work on the site extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must, at the person's own expense:

- a) Protect and support the adjoining premises from possible damage from the excavation, and
- b) Where necessary, underpin the adjoining premises to prevent any such damage.

Prior to the Issue of a Construction Certificate / Subdivision Works Certificate

SECTION 7.11 CONTRIBUTIONS (TYPE A - RESIDENTIAL)

- 7. Contributions are to be paid to Council towards the provision or improvement of amenities or services (residential subdivision/works) under the Blayney Local Infrastructure Contributions Plan 2013 (see Council's web site). The contributions to be paid are currently \$9,919.00 per new dwelling. The amount payable would be recalculated on the basis of the contribution rates that are applicable at the time of payment. Evidence of payment of the contributions is to be provided to the Principle Certifying Authority prior to the issue of the Construction/Subdivision Certificate.

SEWERAGE HEADWORKS

- 8. The applicant shall contribute \$9,061.00 per new dwelling, towards sewer head works pursuant to Section 305 of the Water Management Act, 2000, and the Development Servicing Plan (Section 64), before the Subdivision Certificate is issued. The amount applicable will be dependent upon the date on which payment is made and will be as per Council's adopted fees and charges for the financial year in which payment is made.

WATER HEADWORKS

- 9. The applicant shall contribute towards water head works to Central Tablelands Water (CTW) pursuant to Section 305 of the Water Management Act, 2000, and the Development Servicing Plan (Section 64), before the Subdivision Certificate is issued. The amount applicable will be dependent upon the date on which payment is made and will be as per CTW's adopted fees and charges for the financial year in which payment is made.

ENGINEERING PLANS

- 10. The applicant is to submit an electronic copy of engineering plans, specifications and calculations in relation to Conditions 11, 35, 36 and 39. Further, the works are to comply with WBC Guidelines for Engineering Works.

SOIL AND WATER MANAGEMENT PLAN

- 11. The developer is to submit a soil and water management plan for the site in accordance with WBC Guidelines for Engineering Work. No building, engineering, or excavation work, or topsoil stripping or vegetation removal, is to be carried out in relation to this development until such time as a Compliance Certificate pursuant to Section 109C of the Environmental Planning and Assessment Act 1979, as amended, or inspection report has been issued by Council or an accredited certifying authority, certifying that the plan is in accordance with Council's WBC Guidelines for Engineering Works. Upon certification, the measures in the Soil and Water Management Plan are to be implemented during the course of the development.

SECTION 68 APPLICATION

- 12. A Section 68 Application to carry out plumbing and sewerage work shall be submitted to, and approved by Council prior to the issue of a Construction Certificate.

Prior to Works Commencing**CONSTRUCTION CERTIFICATE**

13. Prior to commencement of any works, a Construction Certificate is to be obtained, and where Council is not the PC, a copy is to be submitted to Council.

CONSTRUCTION CERTIFICATE – ENGINEERING WORKS

14. The applicant is to obtain a Construction Certificate from Council, for the engineering work required by conditions 11, 35, 36 and 39. The Construction Certificate is to be obtained prior to works commencing for the works associated with conditions 11, 35, 36, and 39. Design shall be in accordance with WBC Guidelines for Engineering Works.

Note: Where Council is the Certifying Authority in relation to engineering works fees will be payable in accordance with Council's Revenue Policy.

COMMENCEMENT OF WORK & APPOINTMENT OF PCA

15. The applicant is to submit to Council, at least two (2) days prior to the commencement of any works, a notice of commencement of building or subdivision works and Appointment of Principal Certifier.

NOTICE OF PLUMBING WORKS

16. Prior to the commencement of plumbing and drainage works the responsible plumbing contractor is to submit to Council a "Notice of Works" under the Plumbing and Drainage Act 2011.

PUBLIC LIABILITY INSURANCE

17. Prior to the commencement of any works on Council or Roads and Maritime Services (RMS) controlled land including a public road, the applicant is to affect Public Liability Insurance to the minimum amount of \$20 million. This insurance is to note Council's interest and is to remain current for at least the period from the issue of the Construction Certificate until the issue of a Compliance Certificate or final inspection report for the works. Documentary evidence of the currency of the cover is to be provided to Council prior to the commencement of works within the road reserve.

During Construction**BOUNDARY SURVEY**

18. A Certificate of Survey prepared by a registered surveyor, setting out the boundaries of the site and the actual situation of the building on the site, must be submitted to the Principal Certifier to certify the building is set back from the boundaries of the allotment in accordance with the approved building plans; and such Certificate is to be submitted prior to pouring any footings or any in-situ reinforced concrete building element.

Note: It is recommended that a registered surveyor is to be utilised in the setting out of the footings and/or slab.

RETAINING WALLS

19. The retaining walls and all components including the footings, ag line and backfill must be contained wholly within the property boundaries.

HOURS FOR CONSTRUCTION OR DEMOLITION

20. Construction or demolition only be carried out between 7.00 am and 6.00 pm on Monday to Friday, and 8am to 5pm on Saturdays. No construction or demolition is to be carried out at any time on a Sunday or a public holiday.

Note: The principal contractor shall be responsible to instruct and control their sub-contractors regarding the hours of work.

EROSION AND SEDIMENT CONTROL

21. Erosion and sediment control measures are to be established prior to commencement of construction and maintained to prevent silt and sediment escaping the site or producing erosion. This work must be carried out and maintained in accordance with Council's *WBC Guidelines for Engineering Works* (see Council's website), and the Dept Housing – *Soil and Water Management for Urban Development (The Blue Book)*.

RUBBISH AND DEBRIS

22. All rubbish and debris associated with the development, including that which can be windblown, must be contained on site in a suitable container at all times. The container shall be erected on the development site prior to work commencing.

Materials, sheds or machinery to be used in association with the development must be stored and stacked wholly within the worksite unless otherwise approved by Council.

Note 1: No rubbish or debris associated with the development will be placed or permitted to be placed on any adjoining public reserve, footway or road.

Note 2: Offenders are liable for prosecution without further warning.

TOILET FACILITIES

23. Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet, plus one additional toilet for every 20 persons employed at the site.

Each toilet must:

- i. be a standard flushing toilet connected to a public sewer, or
- ii. have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
- iii. be a temporary chemical closet approved under the *Local Government Act 1993*.

BASIX CERTIFICATE

24. All the required commitments shown on the BASIX Certificates and on the approved plans, are to be implemented prior to the issue of an Occupation Certificate.

EXCAVATIONS AND BACKFILLING

25. All excavation and backfilling associated with the erection/demolition of the building must:
- a) be executed safely and in accordance with appropriate professional standards, and
 - b) be properly guarded and protected to prevent them from being dangerous to life or property.

DRAIN BUILDING SURROUNDS

26. The ground surrounding the buildings shall be graded and drained to ensure that all surface and seepage water is diverted clear of buildings on the site and clear of adjoining properties. Permanent surface or subsoil drains or a combination of both shall be provided to all excavated areas, hard standing areas and depressions. The gutters and downpipes of the existing dwelling shall also be connected to the stormwater drainage system of the development.

CLADDING

27. All roof and wall finishes shall be comprised of low reflective surface materials.
Note 1: Sheet metal shall be of factory prefinished (eg, colorbond) type material.
Note 2: Zincalume will be not accepted.

LICENSED PLUMBER

28. All plumbing and drainage work shall be carried out by a licensed plumber and drainer and to the requirements of AS/NZS 3500 and the Plumbing Code of Australia.

WORK BY LICENSED CONTRACTOR

29. All plumbing and drainage work must be carried out by a licensed plumber/drainer in accordance with the requirements of the Plumbing Code of Australia and Australian Standard AS3500.

WORK-AS EXECUTED PLAN

30. A work-as-executed plan of drainage shall be drafted by the drainer and submitted to Council and the owner upon completion of all drainage works.

CERTIFICATE OF COMPLIANCE

31. A certificate of compliance for the plumbing works associated with this approval shall be submitted by the plumber to Council and the owner upon completion of all drainage works.

WATER TANK/S

32. The overflow for the rainwater tank/s is to be connected to a drainage line and conveyed to the street gutter, common drainage line, legal point of discharge or otherwise disposed of on site in accordance with Australian Standard 3500 in a manner that is not adversely affecting adjacent land.

INSPECTIONS

33. Forty – eight (48) hours notice shall be given to Council for inspection of the following:
- a) Internal and external drainage lines, prior to backfilling. The licensed plumber/drainer shall be on site at the time of the inspection, and the drainage lines shall be charged;
 - b) Hot and cold water at rough-in; and
 - c) The completed building before use.

ENGINEERING INSPECTIONS

34. The applicant is to arrange an inspection of the development/subdivision works by Council's Engineering Department, at the following stages of the development. This condition applies notwithstanding any private certification of the engineering works.

	COLUMN 1	COLUMN 2
D	Sewerage	* After laying of pipes and prior to backfill;
E	Concrete Footway Crossings	* After placing of formwork and reinforcement, and prior to concrete placement;
G	Erosion and Sediment Control	* Prior to the installation of erosion measures.
H	All Development & or Subdivision Works	* Practical completion.

FOOTWAY CROSSING – SQUARE

35. A minimum 3m wide vehicular crossing(s) over the footway adjacent to the proposed ingress/egress point is to be designed and constructed in accordance with WBC Guidelines for Engineering Works. Further the applicant is to obtain a Compliance Certificate pursuant to Section 109C of the Environmental Planning and Assessment Act as amended, **or inspection report**, at the completion of construction of the footway crossing, from Council or an accredited certifying authority, certifying that the works have been completed in accordance with WBC Guidelines for Engineering Works and that the levels are in accordance with those issued.

Note: If other hard standing, dust free and weather proof surfaces are proposed instead of concrete, written approval is to be obtained from Council that the proposed alternative is acceptable.

Optional note: This condition may require the piping and filling of a section of the open drain fronting the property, including headwalls and safety railing.

ACCESS DRIVEWAY – BATTLEAXE LOTS

36. The construction is to occur, within and for the full length of the access handle(s) of the hatchet shaped lot(s) and over the footway, of a concrete vehicular driveway(s) 2400 mm wide, designed to *WBC Guidelines for Engineering Works*. Further, the applicant is to obtain a Compliance Certificate pursuant to Division 6.4 of the Environmental Planning and Assessment Act as amended, **or inspection report**, at the completion of construction of the footway crossing, from Council or an accredited certifying authority, certifying that the works have been completed in accordance with *WBC Guidelines for Engineering Works* and that the levels are in accordance with those issued.

Note: If other hard standing, dust free and weather proof surfaces are proposed instead of concrete, written approval is to be obtained from Council that the proposed alternative is acceptable.

COMBINED ACCESS WIDTH

37. The proposed combined entrance and exit is to have a width of 4.5 metres at the property line.

SEPARATE WATER SERVICE

38. Water services are to be provided to each allotment prior to the issue of the Subdivision Certificate. All costs are to be met by the applicant.

SEPARATE HOUSE DRAINAGE

39. Plumbing work is to be carried out so that each lot has a separate and distinct house drainage service connected to Council's sewer main within the boundaries of that lot, in accordance with the Local Government (Approvals) Regulation 1999.

RELOCATE UTILITY SERVICES

40. The developer is to relocate any utility services if required, at the developer's cost.

ROAD AND INTERALLOTMENT DRAINAGE

41. All road and inter allotment drainage is to be conveyed to the gutter in Pym St, in accordance with *WBC Guidelines for Engineering Works*.

FENCING

42. The side and rear boundaries and the proposed new boundary are to be fenced with hardwood timber paling fences.

DOWNPIPES AND ROOF FLASHINGS

43. Downpipes are to be circular and painted to match the wall colour and roof flashings shall be the traditional rolled type.

Prior to Issue of a Subdivision Certificate

ELECTRICAL AUTHORITIES - SUBDIVISION

44. The developer is to furnish Council with documentary evidence that arrangements have been made, satisfactory to the appropriate electrical authority for the provision of underground electrical power to serve each lot.

Note: This information must be submitted before Council will issue the Subdivision Certificate relating to this development.

FINAL PLAN OF SURVEY

45. The final plan of survey is to show:
- a) a right of carriageway 3 metres wide within Lot 1 and in favour of Lot 2
 - b) a right of carriageway 3 metres wide within Lot 2 and in favour of Lot 1.

Prior to the Issue of an Occupation Certificate

OCCUPATION CERTIFICATE

46. Prior to the occupation or use of the building an Occupation Certificate is to be obtained, and where Council is not the PCA, a copy is to be submitted to Council.

SEWER SERVICE DIAGRAM

47. Prior to the issue of an Occupation Certificate, the licensed plumber shall submit to Council a Sewer Service Diagram and a Certificate of Compliance in accordance with the requirements of NSW Fair Trading.

WORKS AS EXECUTED PLAN

48. The applicant is to submit to Council an electronic copy of the works as executed plans for the works required by Condition 19 in AutoCAD 2000 format. Further, the works are to comply with WBC Guidelines for Engineering Works.

ELECTRICAL AND TELECOMMUNICATION AUTHORITIES – BUILDING

49. The developer is to furnish documentary evidence that arrangements have been made satisfactory to the relevant electrical authority and the relevant telecommunications authority, for the provision of electrical power, and telephone lines, OR underground electrical power and telephone lines respectively, to fully serve the development, prior to the issuing of a Construction Certificate by Council or an accredited certifying authority.

Ongoing

APPROVED USE

50. The approved buildings must not be used for any other purpose other than the approved use ie dwellings. Any proposed change of use shall only be permitted with the consent of Council.

INGRESS/EGRESS

51. All vehicles entering or leaving the subject property shall be driven in a forward direction.

ROAD AND INTERALLOTMENT DRAINAGE

52. All road and inter allotment drainage is to be conveyed to the gutter in Know Place, in accordance with WBC Guidelines for Engineering Works.

Advisory Notes

Inspection Schedule

AN1. The Principal Certifier is required to ensure all work is carried out in accordance with the consent, Building Code of Australia (BCA), and relevant standards, which is done during inspections at nominated stages of the work. The “Inspection Schedule” lists the mandatory and other required inspections that must be carried out by Blayney Shire Council during construction of the work.

As the Principal Certifier, Council must be contacted to undertake inspections of the various stages of construction as follows:

- a. Slab/footing inspection when steel is laid prior to the pouring of concrete.
- b. Frame inspection
- c. Waterproofing prior to tilling.
- d. Final/stormwater inspection at time of completion of all works.



✉ PO Box 5069 Orange, NSW 2800
@ info@andrewcrump.com.au
☎ 0408 446 429

18 June 2025

The General Manager
Blayney Shire Council
PO Box 62
BLAYNEY NSW 2799, AUSTRALIA

Attn: Andrew Muir
Via Planning Portal and,
By email: AMuir@blayney.nsw.gov.au

Our Ref: ADC_201224_AddInfo_Letter

Dear Andrew,

ADDITIONAL INFORMATION RESPONSE – DA2024/0063 – 24 KNOX PLACE, MILLTHORPE

Reference is made to Council's additional information request dated 5 March 2025; specifically, we respond to the following key points:

- Consideration of the history of the lot to be subdivided, in other words, consideration of the original subdivision assessment.
- Sewer capacity for the additional lot.
- Protection and preservation of the interface with the surrounding environment which had previously been addressed by larger lot sizes.
- Impact on the vista along Glenorie Road, being a key entrance to the village, and how the visual amenity would be protected. This should also include an outline of this impact in heritage terms.
- Consideration of additional landscaping.

Before responding to the above points, we take this opportunity to remind Council that there is a requirement for Council to assess the application before it on its merits, this is central to the application of Part 4 of the EP&A Act. As we have previously outlined the development is entirely meritorious given the following:

- The development is not antipathetic to the Aims of the EP&A Act.
- Dual occupancies and subdivision of land are both permissible in the R1 General Residential zone pursuant to the Blayney LEP 2012.
- The development is consistent with the objects of the R1 General Residential zone in that the development will add to the diversity of housing types and densities within Millthorpe.
- The development does not contravene any relevant development standards, noting that the proposed lots are well above the minimum lot size applying to the land.

- The development is consistent with the DCP, save for a minor variation to side setbacks, which will not result in adverse impacts.
- The development has been designed cognisant of the context and setting, noting Council's heritage advisor has not objected to the proposal due to the appropriate design response with the garage orientated internally and away from the street, the appropriate building forms and sympathetic materiality.
- Given the development's level of compliance with the relevant planning policies, and there being no other site attributes constraining further development, the site is suitable for the proposed development.
- Given the forgoing the development is within the public interest.

Response to Council's Request for Further Information

Council RFI	Response
<p>Consideration of the history of the lot to be subdivided, in other words, consideration of the original subdivision assessment.</p>	<p>We take this opportunity to remind Council of the Courts guidance on how consents work with reference to the authority: <i>House of Peace Pty Ltd v Bankstown City Council</i> [2000] NSWCA 44, 48 NSWLR 498 at [23] “A development consent is to be construed according to its terms, having regard to its enduring nature. A development consent has an enduring nature because it is not personal to the applicant but is a public document operating in rem for the benefit of third parties such as subsequent owners, occupiers and security holders, and in some respects is equivalent to a document of title”. We therefore dispute the assertion that the applicant should have been aware of some unknown concern borne by Council.</p> <p>Further to the operation of consents as a general rule, a development consent, being a public document operating <i>in rem</i> for the benefit of third parties, should be construed without reference to extrinsic evidence other than to identify a thing or place referred to in it. That extrinsic evidence is not led to vary the consent but to identify the thing or place referred to it. Evidence as to the nature or physical features of the land may also be admissible for that purpose, at least those features observable by a third party at the time of the consent (<i>Allandale Blue Metal Pty Ltd v Roads and Maritime Services</i> (2013) 195 LGERA 182; [2013] NSWCA 103). Based on this authority, the contents of the planning assessment cannot be taken to influence or vary the construction of a consent or vary the way the consent operates in the absence of a condition intended to achieve such an outcome.</p> <p>Thereby, given the justification within the SoEE previously submitted to Council and with the additional assessment now provided by way of the accompanying HIS prepared by Touring the Past, we consider that the proposed development will not result any unsatisfactory adverse impacts in the locality.</p> <p>The character of this part of Millthorpe is one that is undergoing transition from a peripheral rural character to that of a residential character and this was set in place at the time Council determined that original subdivision</p>

	<p>application. This application before Council, which proposes one additional lot as part of a dual occupancy development, will not dramatically alter the transitioning character of this part of Millthorpe over and above what was inevitably going to occur following Council's approval of the original subdivision.</p>
<p>Sewer capacity for the additional lot.</p>	<p>It is implausible to suggest that Council's sewer strategy and strategic planning would be modelled such there is insufficient capacity for one additional lot within the residential catchment of the village. We accept that there will be a headworks charge under Section 64 of the LG Act.</p> <p>If Council is concerned with "gradual creep" and resultant impacts on sewer capacity, it should either; one, embark on a village wide review of its existing housing strategy to determine if the current lot size mapping with the LEP is fit for purpose; or two, look to upgrade its existing sewer capacity.</p> <p>We again remind Council of their obligations under the EP&A Act to assess the subject application before it on its merits, and not be influenced by what may or may not occur in the future.</p>
<p>Protection and preservation of the interface with the surrounding environment which had previously been addressed by larger lot sizes.</p>	<p>The inference that this development will present an incompatibility with adjoining land is a flawed assumption. The subject land is surrounded on all sides by land that formed part of the parent lot of the original subdivision and does not share a boundary with any adjoining parcel that wasn't part of the original subdivision. The land is thus surrounded by residentially zoned land on all sides.</p> <p>We also wish to highlight that if it were Council's intention to restrict further development of this land then it should have undertaken proactive steps within the original subdivision consent and/or planning system to enshrine such a position such as changing the MLS or preparing a site specific DCP, however this did not occur. The proposal has been prepared in accordance with all current planning policy with regards to lot sizes and all other relevant provisions as set out in the originally submitted SoEE.</p>
<p>Impact on the vista along Glenorie Road, being a key entrance to the village, and how the visual amenity would be protected. This should also include an outline of this impact in heritage terms.</p>	<p>A detailed HIS has been prepared by a suitably qualified heritage practitioner and is attached. The HIS concludes that it is incontestable that the development would not have any adverse impacts on important sightlines or vistas from within or outside the Millthorpe HCA or as relevant to 'in the vicinity' heritage items. In summary, it notes the following:</p> <p>The new work would not, in of itself, disrupt the legibility of the village's fine-grain development pattern or relationship to its more 'open' hinterland, noting the low magnitude of the scheme and its location between existing suburban development (west) and rural blocks (east) within an already approved suburban cul-de-sac subdivision.</p> <p>This report also affords considerable weight to the proposed siting and character of the development, which would sit unobtrusively within the landscape at the southern end of the existing suburban subdivision, well away from its northern and eastern interfaces with Glenorie Road. The</p>

	<p>former and latter have been identified by the Council as more critical for sustaining at their current size.</p> <p>The conservation objective of the Blayney LEP at section 5.10 would be satisfied by the proposal, as would the heritage performance measures set out in the Blayney DCP, with any difference in opinion concerning the detailing or materiality of the infill designs readily resolved by further negotiation or consent conditions. Accordingly, this report recommends that the proposal be approved on a heritage basis.</p>
Consideration of additional landscaping.	<p>We do not consider it necessary for additional landscaping to be incorporated into the current design for the following reasons:</p> <ul style="list-style-type: none"> • Given the forgoing comments and assessment within the attached HIS; • Given the locality of the subject land on the southern side of the approved subdivision, which is well removed from the interface with Glenorie Road (over 200m away) and separated from the road and nearby rural land by other residential lots with approved new dwellings; and • Given the topography of the rural land to the east, the subject land cannot be seen by motorists or pedestrians when entering Millthorpe from the south along Millthorpe Road – the intersection of Millthorpe and Glenorie Roads is some 500m away, and there is a hill between the intersection and the subject land and approved suburban subdivision (see Google Streetview snippet below). 

If you have any questions in relation to the above, please don't hesitate to contact our office on 0408 446 429.

Yours sincerely,



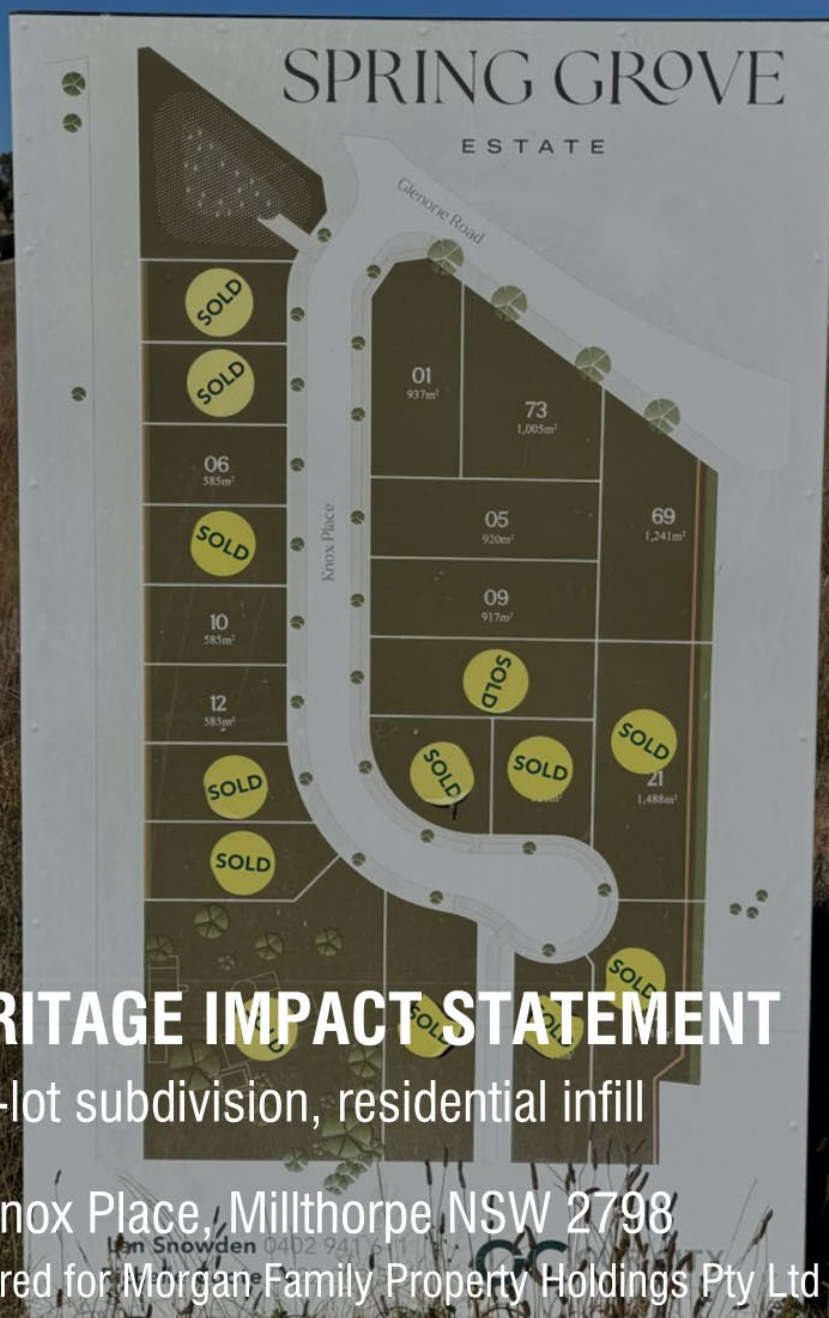
Andrew Crump

Director

Enc.

Heritage Impact Statement by Touring the Past

TOURING THE PAST



HERITAGE IMPACT STATEMENT

Two-lot subdivision, residential infill

24 Knox Place, Millthorpe NSW 2798

Prepared for Morgan Family Property Holdings Pty Ltd
May 2025

Touring the Past Pty Ltd

Acknowledgement of Country

Touring the Past recognises that our conservation practice takes place on Country whose sovereignty has never been ceded. We recognise the First Nations People of Australia and celebrate their continuing cultural practices and Connections to Country.

We acknowledge the Traditional Custodians of the land we now call Millthorpe, the Wiradjuri people, and pay our respects to their Elders past, present, and emerging. We appreciate the longstanding spatial knowledge held by First Nations people and the continuum of Indigenous land management, science, and design that has endured.

We are mindful of the impact of settler development on Country and are aware of our responsibility in the heritage sector to unlearn, improve, and repair.

Touring the Past Pty Ltd

Conservation | Heritage | Interpretation

Author: Patrick Wilson
Director—Heritage Consultant and Professional Historian
B.A. (Hist Hons) and M. Cult. Heritage
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Cover image: View to the freestanding promotional sign associated with the Knox Place subdivision development.

Primary and secondary materials utilised in the preparation of this report are acknowledged and referenced in captions or footnotes.

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DATE	VERSION	PREPARED BY
13 May 2025	Draft	Patrick Wilson
16 May 2025	Issued	Patrick Wilson

Touring the Past Pty Ltd

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1 INTRODUCTION

1.1 Purpose

This Heritage Impact Statement (HIS) has been prepared on behalf of the property owner of 24 Knox Place, Millthorpe (subject place)—a vacant allotment in the Millthorpe Heritage Conservation Area (C3). It relates to a lodged Development Application (DA2024/0063) for a two-lot subdivision and residential infill development, and provides the consent authority, Blayney Shire Council, with an independent review of the scheme's potential heritage impact.

1.2 Methodology

The author of this report is an appropriately experienced built heritage practitioner and accredited professional historian. It is informed by a non-invasive inspection of the subject place and its immediate and broader setting (late April 2025). Terminology and principles in this document are based on sound values-based heritage management approaches, namely as expressed by *The Australia ICOMOS Charter for Places of Cultural Significance*, *The Burra Charter* (rev. 2013) and its accompanying practice note *Burra Charter Article 22 – New Work*. Due heed is also taken of the Government Architect NSW's *Better Placed: Design Guide for Heritage* (2019) and *Guidelines for preparing a statement of heritage impact* (June 2023) prepared by the NSW Department of Planning and Environment.

1.3 Location

The subject property comprises a single loosely rectangular allotment (arched frontage)—legally described as Lot 11, DP1291217—on the south side of the recently established Knox Place, a cul-de-sac that curves south of Glenorie Road (Figures 1 and 2). The land has a 22.42 metre frontage (north) and a minimum depth of 56.10 metres (east), yielding a total site area of 1,246 m². The broader context is the southwestern edge of Millthorpe, a village (population approx. 750) located in the Central Tablelands region of New South Wales, between Orange and Bathurst.



Figure 1. Aerial photograph of Millthorpe with the location of the subject place indicated. North is top of frame. (Source: Nearmap, February 2025)

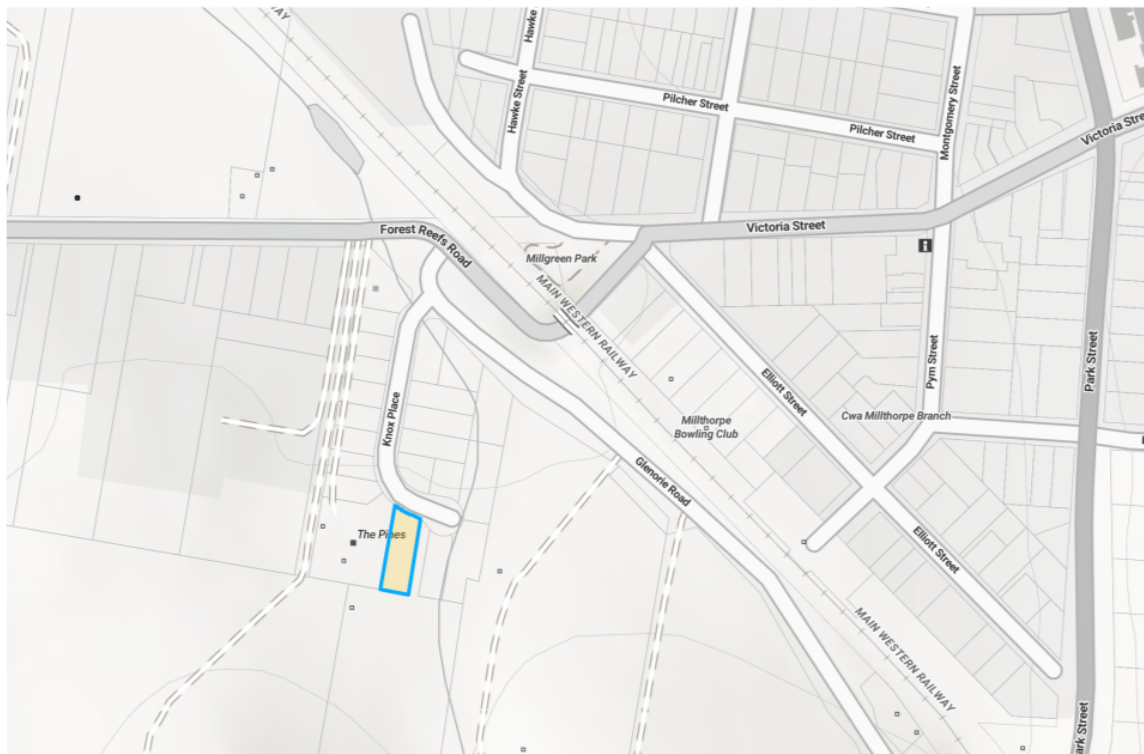


Figure 2. Cadastral map with the subject property outlined in blue.
(Source: Explorer, NSW Government)

1.4 Heritage Management Framework

The subject place is situated on the southwestern outskirts of the Millthorpe Heritage Conservation Area (HCA), a village precinct (C3) of 'local' cultural significance under Part 2, Schedule 5 of the *Blayney Local Environmental Plan 2012* (BLEP). Refer to Figure 3 for mapping. The Millthorpe HCA was gazetted in November 2012.

A Statement of Significance for the Millthorpe HCA, extracted from the NSW Heritage Inventory, is reproduced below and ascribes the precinct with historic (Criterion A), historical/associational (Criterion B), aesthetic (Criterion C), social (Criterion D), research (Criterion E), rarity (Criterion F), and Representative (Criterion G) values:

The village is picturesque with the element of surprise as Millthorpe cannot be assessed or overlooked from any one vantage point. The layout has blended well with the natural surroundings, and the ridges are undeveloped, with important strategically located groups of trees and plantings established for farming.

The scale is remarkable, both in the relationship of the surrounding hills to the developed area of the village & in the scale of the buildings to street. The unusually narrow streets and range of subdivisions give Millthorpe an intimate atmosphere.

The village has a compact form due to the defined small lot subdivision boundary at the perimeter & an intensely developed commercial centre relatively free from vacant lots, giving it a higher density than normal for a country town.

The centre includes the Churches, the Railway Station and a range of industrial uses and structures.

The period and style of Millthorpe's buildings have a high degree of coherence and continuity, including the government sponsored housing in Boomerang St. The majority of buildings appear to be in reasonable condition as regards upkeep and are almost all built of brick and suited to the local climate.

While some regrettable alterations, infill and overzealous restorations have occurred, for the most part, the Village is an extraordinary example of a self-sustaining village and community.

(Emphasis added)

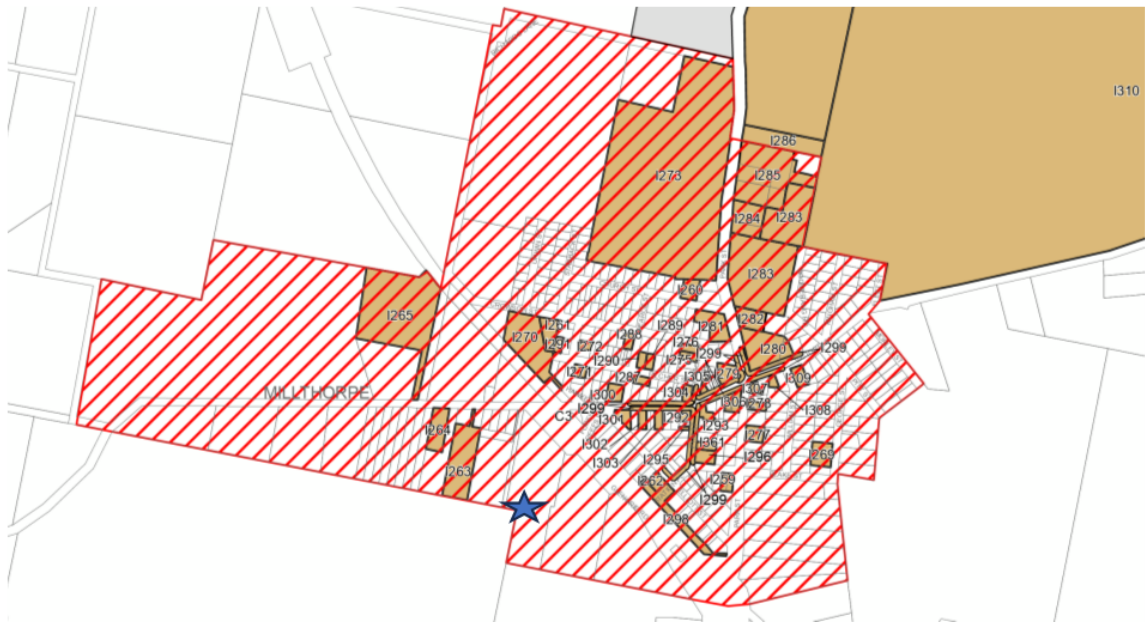


Figure 3. Extract from Heritage Map HER_004A—red hatching indicates the extent of HCA C2, while tan shading denotes an individual heritage item. The subject place is approximately indicated by the blue star (note that the BLEP heritage map does not show the recently approved subdivision/establishment of Knox Place). (Source: BLEP)

The subject property is arguably within the viewshed of a score or so of individual heritage assets, all of which are also included in the HCA C2. This report discusses those heritage items contained within the core of the HCA more generally, with specific 'in the vicinity' assessment provided for the following assets:

Figure 4. Panoramic aerial photograph of item I263, facing south. The listed house and pines are circled. (Source: Neamap, February 2025)


IMAGE	LISTING DETAILS
	<p><i>Millthorpe Railway Station group</i></p> <p>State Heritage Register #01193 (consent authority is Heritage NSW)</p> <p>BLEP, I298: <i>Railway Station group including buildings, platforms, forecourts and gates</i></p> <p>Elliott Street, Millthorpe</p> <p>N.B. the extent of the State curtilage is somewhat larger than local listing, extending to the bottom of the embankment to the southeast.</p> <p>Statement of Significance (NSW Heritage Inventory):</p> <p><i>Its location at the end of Pym Street closes the vista of the main street and gives it a prominence in the townscape of considerable significance. It is an important civic building in an historic town setting exhibiting fine proportion and detailing.</i></p> <p><i>Millthorpe station [1886] is one of four examples of this station type, the others being St Peters 1883, Riverstone 1887 and Spring Hill 1884 (demolished). It is the only intact surviving country example and is of high significance.</i></p>

Figure 5. Millthorpe Railway Station viewed from Elliott Street.

As per the BLEP at cl 5.10 (1)(a)(b), a key heritage consideration for the consent authority, Blayney Shire Council, in their decision-making in relation to the proposed development is sustaining the identified significance or value/s of HCA C2 and the nearby heritage items. Accordingly, the Statements of Significance set out above and further assessment of this report provide an essential baseline for understanding what is of heritage value and the potential impact of the scheme—an approach in line with Article 27 (‘Managing Change’) of the *Burra Charter*.

This report notes that the subject place is in a General Residential (R1) zone, but does not comment on this fact further.

1.4.1 Non-statutory listings

Millthorpe proper is also included in the non-statutory Heritage Register of the National Trust of Australia (NSW) as the Millthorpe Conservation Area (listed in 1974) accompanied by a version of the Statement of Significance attached to HCA C2.¹

In addition, Millthorpe was entered into the now redundant Register of the National Estate (RNE) as the *Millthorpe Settlement* (Place ID 873) in October 1980, with the following Statement of Significance:

Millthorpe is of great heritage importance for being an outstanding example of a small Australian country town of the late nineteenth/early twentieth century period.

The compact town, with its coherence and continuity of period and style, and its important and harmonious relationship with the surrounding rolling countryside, is a place of strong historic and aesthetic qualities.

The township has considerable social significance for the local and district community.

¹ Note it is understood that the NT’s mapping for the Millthorpe HCA is smaller than that C3 and may not include the subject place. The NT’s listing card for the Millthorpe HCA must now be purchased from the organisation.

2 BRIEF HISTORY

2.1 Contextual

Millthorpe is the centre of one of the richest sections of the Western District of New South Wales, as concerns its agricultural possibilities. Situated between Bathurst and Orange, it has by its natural advantages become the principal business medium of the surrounding farming population, as well as the somewhat more distant interests of pastoralists ... The principal business avenues are Park and Victoria streets. The leading stores are situated in the former, and would be creditable in point of detail and display to towns of four times the area of Millthorpe. There is no lack of movement at any time during the week. The large area covered in the district's operations lead to a lot of shop trade, and the continual arrival and departure of outside residents having business with the mill, the butter factory, or the general stores, create a scene that is busy, as well as pleasing... (Source: *Australian Town and Country Journal*, 2 November 1901, p32)

The locality of Millthorpe was progressively taken from the Wiradjuri people from the early 1820s, when it formed part of an Government stock station. Over the 1830s, a small service settlement emerged at what became Millthorpe, initially known as Cross Roads and later as Spring Grove. From the early 1850s, with the advent of the global Gold Rush in the Bathurst region, the area's rich volcanic soils attracted more intensive crop development. Much of what would become Millthorpe proper formed part of a grant made to John Evans in 1868.²

From the mid-1870s, a small service centre consolidated at Spring Grove, 'booming' in the 1880s, during which it was officially renamed Millthorpe (1884). Its development was fuelled by the opening of the Great Western Milling Company flour mill (1882, closed 1960) as well as the arrival of the Main Western railway line (1886), connecting the area's produce directly to the Sydney market. Near the end of the Federation period, the village's population peaked at around 1,300 (1911), and it could boast of a sophisticated commercial, industrial, and civic life, with the district widely known for its wheat, oats, potatoes, and cream produce.³ Shifting economic and demographic patterns in the wake of the First World War progressively led to stagnation and decline, with Millthorpe functioning as a quiet local hub. Since the late 20th century, the village's distinctive historic environment has proven a major drawcard, and a vibrant heritage-led tourist industry has arisen.⁴

The development pattern of Spring Grove/Millthorpe is challenging to unpack in a broad sense; however, it appears that at least the core of the existing village was not formally surveyed but rather materialised over the late 19th and early 20th century by virtue of a series of ad hoc, private grid pattern subdivisions based around the pre-existing crooked arterial thoroughfares of Victoria (east/west) and Park (north/south, Bathurst-to-Orange) streets.

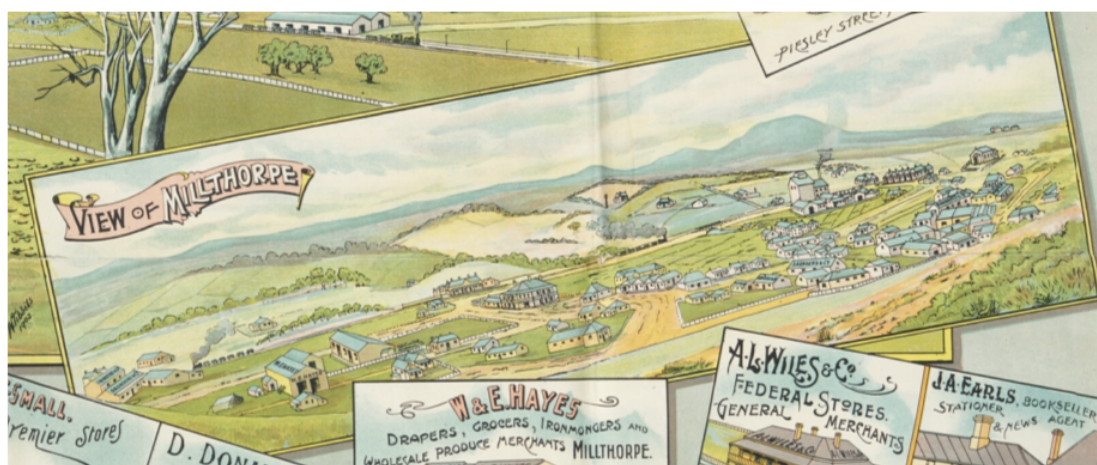


Figure 6. Extract from a lithograph showing a view of Millthorpe, facing south, in the early 1900s. (Source: View of Orange: supplement to the Orange Leader, Christmas 1902, W. Tibbits, SLNSW, <https://collection.sl.nsw.gov.au/record/74VKJqgRGAAg>)

² NSW Land Registry Services, *Old Torrens Title*, vol. 474, folio 235

³ Theo Baker, *A History of Bathurst*, 1998, p9

⁴ *Blayney Shire Community Based Heritage Review: Thematic History*, 2010

2.2 Place-Specific

The subject land derives from Crown Allotment 82 in the Country of Bathurst, Parish of Graham, an approximately 195-acre estate south of the Main Western rail line and outside the 'private town' of Millthorpe (Figure 7).

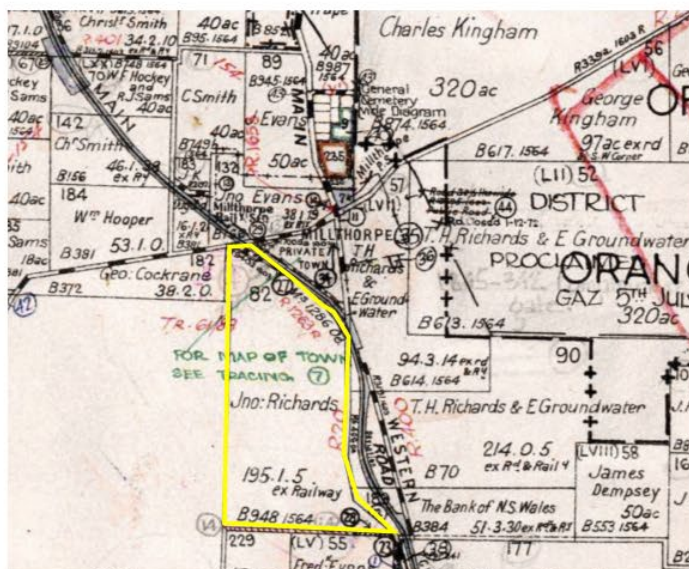


Figure 7. Extract from the Parish of Graham, 1941, with Crown Allotment 82 approximately outlined in yellow. Note the location of the 'private town' of Millthorpe to the north, across the railway line. (Source: HLRV)

In 2021, the subject property (Allotment 11) was created as part of a two-staged 23-lot subdivision of 61 Forest Reefs Road, Millthorpe (Lot 286, DP1018875), known as *The Pines* (this name, evident on Sixmaps, could be in error, noting its employment for the heritage item 1263 further west), permitted by DA60/2020. *The Pines*—now on a reduced allotment (18 Knox Place)—comprises a severely modified (east-facing) late Victorian period brick cottage/homestead. As depicted in Figure 8 below, the subject land is depicted in the mid-1950s as vacant and part of a stretch of paddock east of *The Pines* and south of the rail line.



Figure 8. Aerial photograph of Millthorpe, dated 1954, with the subject land shown as paddock or the like, immediately east of *The Pines*. North is top of frame. (Source: Film no. CAC5, Run 4, Frame 5054, Geoscience)

TOURING THE PAST PTY LTD

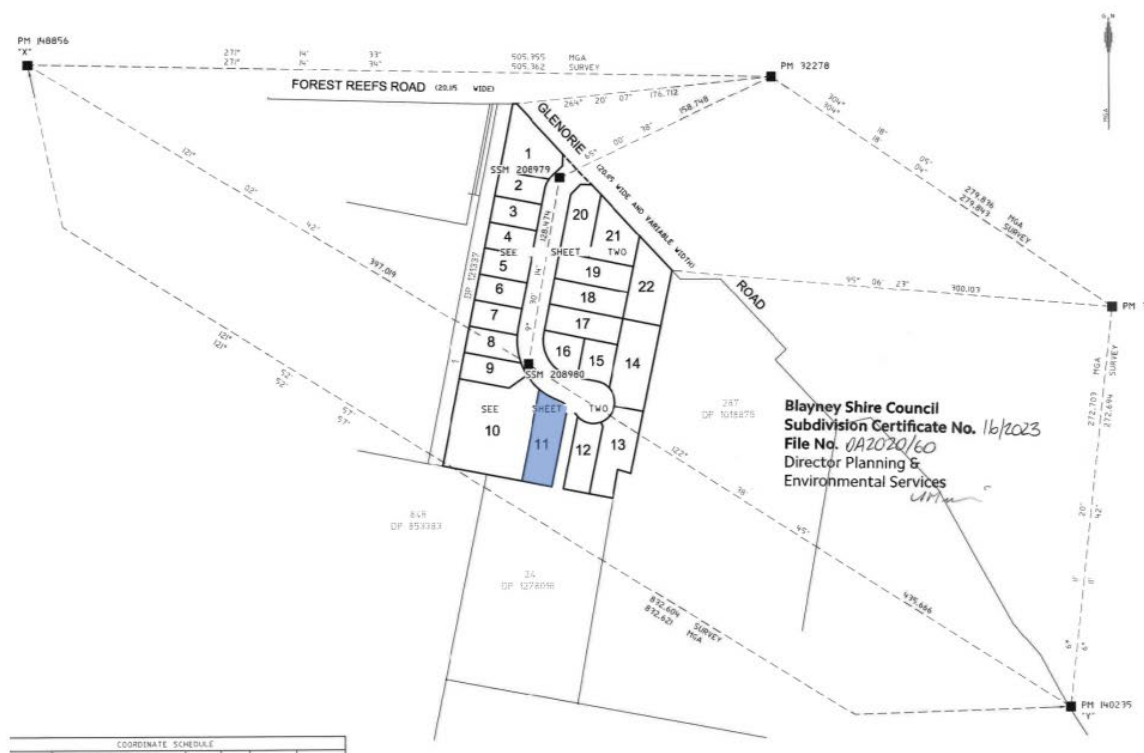


Figure 9. Extract from the *Plan of Subdivision* shows the approved Stage Two subdivision, with the subject property (no. 11) shaded red. (Source: Matthew P. Forsyth, 3 October 2024, Surveyor's Ref: 21116)



Figure 10. Aerial photograph, dated November 2022, showing 61 Forest Reefs Road, prior to subdivision. The latter is overlaid in red, with the subject allotment starred. (Source: Nearmap)

3 PLACE DESCRIPTION

3.1 Subject Place & Knox Place (Immediate Setting)

The subject property encompasses a grassy allotment at the southern end of a contemporary cul-de-sac (kerbed/guttered) subdivision, advertised as the *Spring Grove Estate*, which forms its immediate setting. A driveway for the battle-axe property at 28 Knox Place extends along the eastern perimeter of the place. The properties contained within the estate are generally rectangular with a suburban 'coarse' grain, ranging in sizes between medium-sized allotments (minimum 588 m²) to the more generous, over 1,000 m². The largest, at 3,427 m², is Lot 10, which accommodates the pre-existing house (*The Pines*) at 18 Knox Place. This heavily evolved late Victorian period residence is well set back from Knox Place and largely screened by retained mature plantings. Some juvenile street trees have been planted alongside Knox Place; otherwise, the subdivision is devoid of notable plantings, except for *The Pines*. There is also a water detention basin on the western end of the entrance to Knox Place. It is understood that a consent condition for the Knox Place subdivision was the establishment of a 3-metre-wide vegetative buffer along the majority of the eastern boundary, interfacing with Glenorie Road.

At the time of the site visit, two single-storey project houses with hipped primary roofs and walls of brick (no. 2) and weatherboard (no. 8) had been constructed. From Knox Place, there are middle and long-distance views and vistas to the north of the village of Millthorpe, which is situated over several gentle hills, rising above the Main Western Line embankment. The centre's thick treescape largely dominates these sightlines from along Knox Place, interspersed by traditional roof forms (mostly corrugated metal, chiefly).



Figure 11. Aerial photograph of the subject place, indicated by the yellow arrow, and its immediate urban setting. North is top of frame. (Source: Nearmap, April 2025)



Figure 12. View to Knox Parade (centre image) from opposite Glenorie Road, facing south. The brick house at no. 2 is evident right of frame.



Figure 13. 8 Knox Place, facing west across.



Figure 14. View from Knox Place to the subject allotment, indicated, with *The Pines* left of frame, facing south.



Figure 15. Subject allotment, from opposite Knox Place, facing south.



Figure 16. Close-up of the subject lot, with the contemporary development at 28 Knox Place in the background.



Figure 17. Vista from the footpath in front of the subject place to Millthorpe proper.

3.2 Broader Setting—Millthorpe

Millthorpe is a self-contained, low-scale, fine-grain, and well-treed village, whose built core is defined by a diversity of late Victorian and Federation-era residences with commercial and civic development from these periods clustered along the key thoroughfares of Victoria and Park streets. The town's topography is undulating, and it is surrounded on all sides by low hills and ridgelines. The overall effect can be said to be notably picturesque (as in, quaint and/or artistic, irregular quality). A pithy summary description of the townscape is available in the RNE listing (Place ID 873) and reproduced below:

There are no typically wide streets and there are a number of closed vistas arising from the irregular street plan, giving Millthorpe an intimate atmosphere. The built fabric of the town has a coherence and continuity of period and style, and the scale is harmonious, both in terms of the buildings with the streets and the buildings with the surrounding rolling countryside. Millthorpe consists of a wide range of buildings which collectively form a town of great heritage value. Churches include ...

Millthorpe's public buildings are several. The courthouse and police complex were built of brick in 1902. Reflecting well the Rustic Gothic style of architecture is the 1875 bluestone public school and residence. The post office and railway station (mentioned above) are other important parts of the town's built heritage. The Good Templars Hall (a museum by the 1970s) was built of stone in 1881. Among the town's commercial buildings are the Commercial Hotel of 1911, the 1902 Bank of New South Wales (separately registered), the Commercial Bank, the former Grand Western Lodge Hotel of 1901 (later converted to an art gallery and separately registered), the Pym Street shops of c 1910, the theatre built in 1912, and the brick potato sheds; the 1882 flour mill closed in 1960 and subsequently was partly used as a potato washing and packaging plant. A number of Victorian cottages in Millthorpe are very important structures on account of their consistency of style.

The broader context of the village is the rolling, mostly cleared, open farmland that is characteristic of the Central Tablelands.

Of importance for the matter at hand, the subject site and its Knox Place subdivision—on the southwestern edge of the village, separated by the Main Western Railway—forms part of a flatter area, at least relative to Millthorpe proper, the topography of which rises gradually to the north and northeast. Given this, one might expect the subject land and its immediate setting to be conspicuous within vistas from the village. Conversely, this did not prove to be the case based on the author of this report's extensive ground truthing of the public domain of Millthorpe, as discussed below.

There is virtually no visibility of Knox Place from within the key streetscapes of Victoria Street or the majority of Park Street, with only distant glimpses attainable from the latter's southern end (namely, from the bridge above the railway line). Elsewhere, along the ridgelines, such as Crowson Street (north) or George Street (east), views to the subject land are either obscured or heavily screened by landscaping or other built forms or simply too remote to reveal detail or feature prominently. There are some more ready sightlines to the place from the sloping Hawke Street (north/south), but these are also narrow, curtailed by distance and plantings. There are also some very curtailed sightlines available to Knox Place from particular vantage points along Elliott Street and the north side of the Millthorpe Railway Station (SHR #01193).

On the western approach to the subject place, along Forest Reefs Road, due to the curve in this road, the Knox Place subdivision/development only becomes evident at the far eastern end of this road, before it dips to travel underneath the railway bridge. The suburban character of development that lines the south side of Forest Reefs Road on the western approach to Knox Place is also apparent.

The Knox Place subdivision/development is more noticeable from Glenorie Road, a seemingly low-trafficked carriageway that runs obliquely down from Park Street/Millthorpe Road (east) to Forest Reefs Road (west). Its north/east side is largely unbuilt upon, rather characterised by the raised rail line, with the townscape beyond. The highly intact symmetrical Arts & Crafts/lightly classicised brick late 19th-century south elevation of the railway station (SHR #01193) is a conspicuous presence across the tracks. There is also a modest Federation timber cottage at no. 18. The south side of Glenorie Road accommodates large agricultural or rural 'lifestyle' properties, with native/indigenous boundary plantings. These trees, along with the folding contours of the land, either screen or heavily filter the availability of sightlines to Knox Place.

Overall, the subject land and its immediate setting are only salient elements within the public domain from a restricted vantage point, namely directly opposite the entrance to Knox Place from a grassy embankment/verges.



Figure 18. Panoramic aerial photograph of the *Spring Grove Estate*, prior to subdivision development, shaded white, with Millthorpe proper to the northeast. Note the contrast between the fine-grain townscape and larger suburban/rural lots south of the railway line. (Source: <https://www.springgroveestate.com.au/>, accessed 12 May 2025, no copyright infringement intended)



Figure 19. Pearce Street, facing southwest (below Crowson Street). Representative sightline from elevated parts of the village to the subject place/setting (heavily screened, approximately indicated).



Figure 20. Distant sightline at the bottom (southwest) of Victoria Street to the subject area, with *The Pines* indicated.



Figure 21. View from the end of Hawke Street, across the railway line, facing south, with the hipped roofs of 2 and 8 Knox Place visible.



Figure 22. View from the north side of Glenorie Rd to Knox Place, with the hipped developments at nos 2 and 8 visible.



Figure 23. View from roughly opposite the Millthorpe Railway Station, facing southwest, the subject place/setting is situated below the low rise and screened by existing plantings.



Figure 24. View from Glenorie Road to the Millthorpe Railway Station, across the railway line.



Figure 25. View from the footpath adjacent to 18 Glenorie Road to the west. The subject place/setting is not apparent.



Figure 26. View from road bridge (Millthorpe Road/Park Street) facing west. The subject place/setting cannot be distinguished from the broader landscape.



Figure 27. View from the end of Station Place, facing west, with the station out of frame and the back of *Railway Hotel* (item I262) right of frame. The northern part of Knox Place is distantly visible (no. 2 identified).



Figure 28. View of Knox Place from the south end of George Street, in front of the water tower, facing west. Close-up below.



Figure 28. Close-up of the above view, with 2 Knox Place visible/identified.

4 ASSESSMENT OF HERITAGE IMPACT

4.1 Discussion of Contribution

Within a HCA, properties are sometimes assigned a classification ('contributory', 'non-contributory', on occasion 'neutral') to facilitate their appropriate management from a heritage perspective.

The Council is not known to have undertaken any such 'mapping' of the Millthorpe HCA (C2). Nevertheless, on the basis of its adopted Statement of Significance, this report finds it reasonable to presume that any fairly intact element dating from the late Victorian period to at least the late interwar years can be attributed with contributory significance to the precinct. Some post-WWII components (1945-1960s) may also, upon further investigation, be determined to be contributory as well.

More holistically, the fine-grain grid-like subdivision pattern of the village, along with its compressed secondary streets branching off the more active commercial/community linear strips of Victoria and Park streets, underlines the dense urban quality of the townscape, which is a fundamental distinguishing feature of Millthorpe.

The legibility and visual clarity of this well-defined village is reinforced by its contrast with the surrounding 'open' agricultural landscape and the straggling suburban development on the south side of Forest Reefs Road—the immediate context of the subject place/Knox Place.

This report interprets the Statement of Significance as only ascribing significance to the rural holdings and 'coarse' grain (suburban) pattern to the extent that it serves as a foil to the village-like quality and compactness of urban Millthorpe.

Considering the above and with regard to the relative visual isolation of Knox Place from Millthorpe proper (discussed at Section 3.2), it is the view of this report that the subject land and the majority of its subdivision—historically, part of a paddock system and/or grounds of *The Pines* (itself, arguably contributory, dependent on intactness/integrity)—are not contributory components of the HCA. However, the ambiguous descriptor of 'neutral' is perhaps a more suitable classification for the subject property, given that in its vacant state, in that it neither adds to nor subtracts from the precinct.

4.2 The Proposal

The submitted scheme is outlined in a set of drawings prepared by Bassmann Drafting Service, dated 22 August 2025 (DA01-DA19, Issue A). This report should be read in conjunction with these documents and others submitted with respect to this DA.

In summary, a two-stage scheme is submitted for the subject place, consisting of a 'dual occupancy' development (Stage 1) and a two-lot Torrens subdivision (Stage 2). The outcome would be the construction of a private single-family residence on one allotment fronting Knox Place, with another to a rear battle-axe property (Figure 31). Access to each of the dwellings would be off a shared vehicular driveway (3 metres wide) along the western boundary of the site. More specific details follow.

— *Proposed Lot 1 (583.838 m²) development, fronting Knox Place (Figure 29):*

- Single-storey hipped and gabled roof residence with a traditional asymmetrical 'homestead' character, including integrated front verandah, four-panelled door, vertically-emphasised openings (awnings surmount a pair in the façade, and discreetly (west elevation) integrated garage,
- Footprint L 19,640 metres x W 13,700 metres, maximum height above ground floor: 6.272 metres (2.550 metres floor-to-ceiling heights), and
- Roof cladding: corrugated Colorbond sheeting finished *Shale Grey*; with walls clad in weatherboard, painted *Dulux Lime White*, above a painted concrete plinth. Openings would be aluminium-framed.

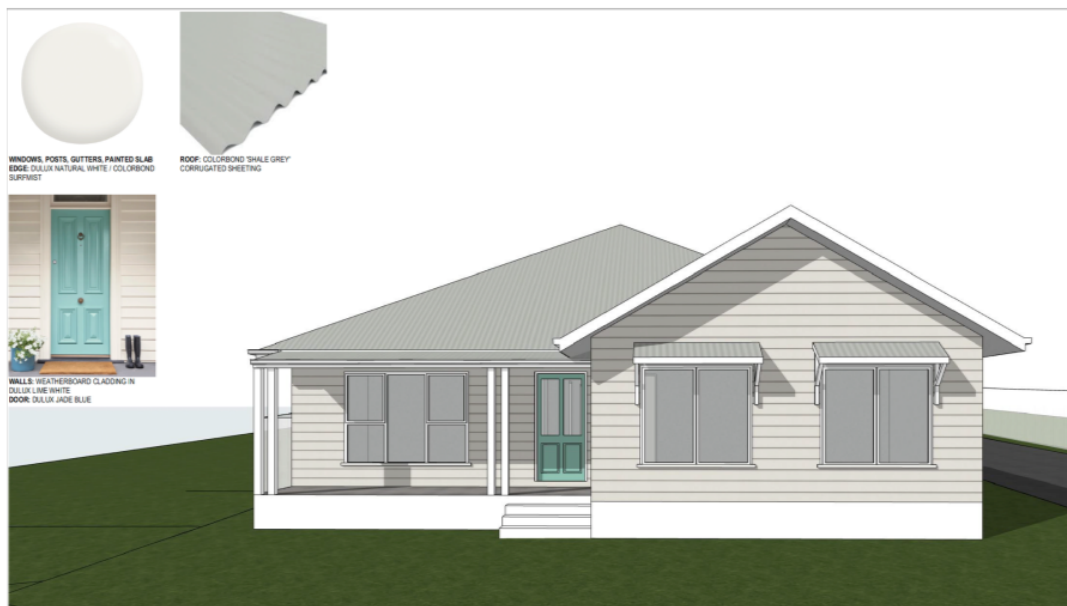


Figure 29. Render of the proposed Lot 1/front infill development with material palette.
(Source: Bassmann Drafting Services, Drawing no. 17)

— Proposed Lot 2 (662.331 m²) development, rear battle-axe (Figure 30):

- Single-storey hipped-roofed residence with a more contemporary, elongated, nearly symmetrical but low-key architectural style, including front projecting gabled alfresco area (with partly covered path to entrance), vertically-emphasised openings, and a garage featured in the façade (garage door articulated a window band),
- Footprint L 11,060 metres (excluding alfresco projection) x W 18,870 metres, maximum height above ground floor: 5,943 metres (2.550 metres floor-to-ceiling heights), and
- Roof cladding: corrugated Colorbond finished *Ironstone*; with walls clad in weatherboard, painted *Dulux Flooded Gum Quarter*, above a concrete plinth. Alfresco posts, tie-beam, and gutters picked out in *Dulux Natural White* or *Colorbond Surmist*. Openings would be aluminium-framed.

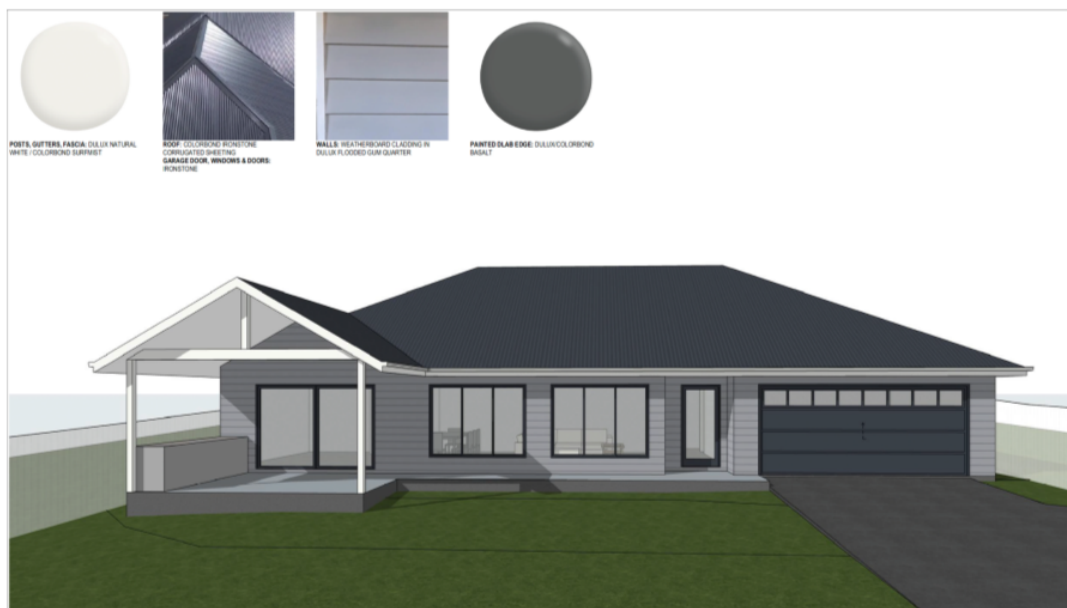


Figure 30. Render of the proposed Lot 2/rear infill development with material palette.
(Source: Bassmann Drafting Services, Drawing no. 19)

TOURING THE PAST PTY LTD

Each of the residences would be provided with a garden setting, comprising a range of plantings, shrubs, and hedges.

Side fencing (1.8m high hardwood paling) would also be constructed, and a retaining wall would be established between the shared internal boundary.

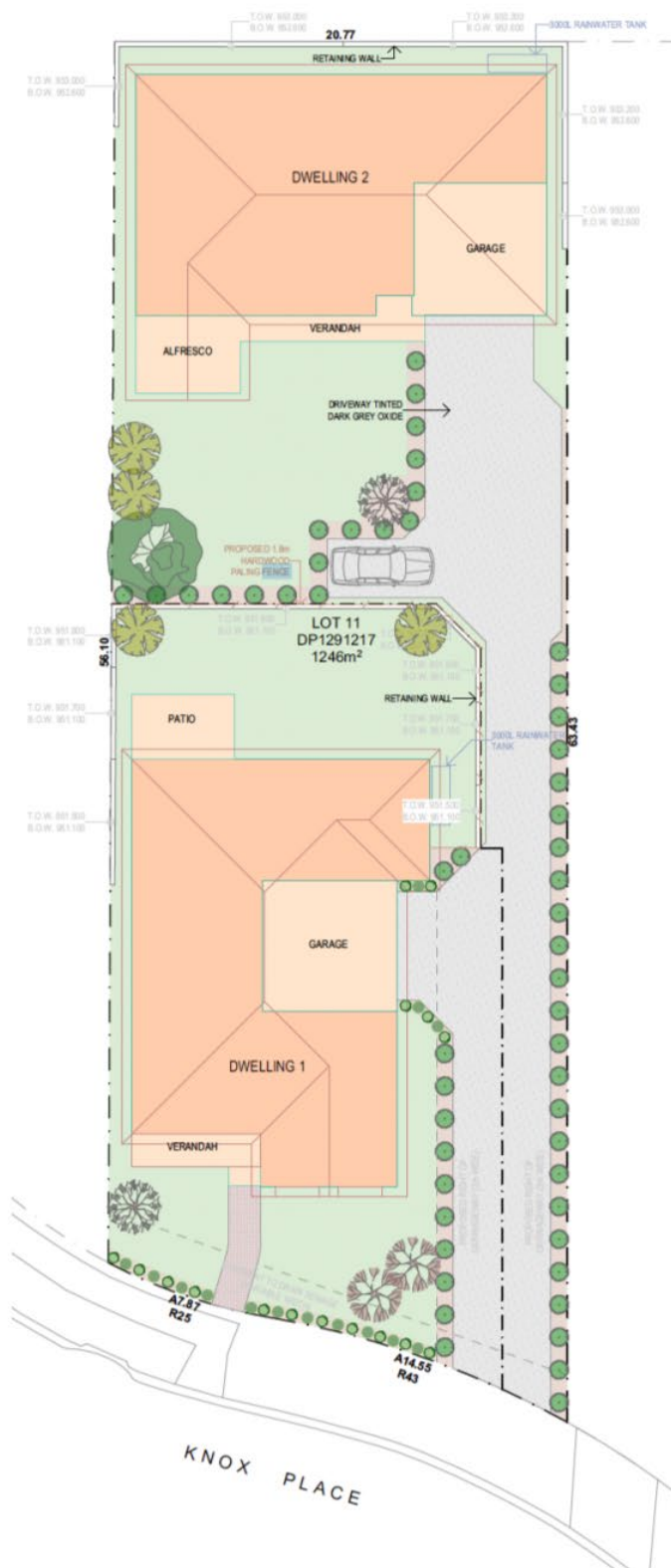


Figure 31.

Extract from the landscaping drawing showing the positioning of the proposed built footprint and driveway. (Source: Bassmann Drafting Services, Drawing no. 2)

4.3 Heritage Policy

The following section examines the potential impact of the proposed work on the subject property, its immediate setting (including 'in the vicinity' heritage items), and the encompassing Millthorpe HCA (C3).

As the scheme would affect a property situated in a HCA, the BLEP at cl. 5.10(2)(a)(iii) requires that Blayney Shire Council 'consider' the potential impact of the scheme on the articulated significance of HCA C3, particularly its 'associated fabric, settings and views', cl. 5.10(1)(b). Clause 5.10(5)(c) also allows the consent authority to consider the impact of new work 'in the vicinity' (not defined) of the subject place. The overall objective is to 'conserve the environmental heritage' of the Shire, cl. 5.10(1)(a).

This HIS, prepared by an independent heritage specialist, constitutes the required expert material and opinion to support the Council in understanding the new work's heritage impact and making substantiated and reasonable planning decisions.

While Section 4.4 of this report adopts a merit/issue-based assessment model, it is recognised that the BLEP's statutory conservation objectives (cl. 5.10) are the focal point for decision-making, assisted by the heritage guidance set out in the *Blayney Shire Development Control Plan 2018* (BSDCP), particularly *Part F: Subdivision* and *Part H: Heritage*. However, it is noted that while the BSDCP contains objectives/controls for the subdivision of an individual heritage asset (H3.2), similar measures do not exist for properties located within a HCA.

It is also acknowledged that the *Environmental Planning and Assessment Act 1979* at cl. 4.15(3A)(b) permits a nuanced and discretionary approach in applying the provisions of a DCP, allowing for reasonable alternative solutions that achieve the overarching objectives of the LEP, which, in this case, can be distilled as safeguarding the significance of the Millthorpe HCA and nearby heritage items.

Some general attention has also been paid to the Heritage Council of NSW practice note *Subdivision and NSW State Heritage Register Items* (December 2019) by this report.

As widely accepted in the Australian/NSW cultural field, sound value-based heritage management practices, as epitomised by the *Burra Charter* (rev. 2013), emphasise the need to approach change in the historic environment in a common-sense manner guided by place-specific conditions, a close understanding of significance, and—particularly in the case of a subdivision—setting and views, curtilages, and good design standards. It is a matter of striking a careful balance, rather than rigid preservation.

4.3.1 Council Planning Report regarding DA60/2020 (23 lot subdivision)

As part of this review, this report has examined the Council's planning approval rationale for the existing subdivision pattern, as set out in the relevant *Planning Report* (File No. DB.AB.1517, dated 28 June 2021).

At several points, the Council noted their support of the then-proposed 23 lot subdivision due to the large lot size established on the east and north of the subdivision, for example:

Any further subdivision of the proposed lots would be subject to a further development application and subsequent assessment on its merits.

Whilst the Minimum Lot Size (currently 450m²) is a key consideration for subdivision under the Blayney Local Environmental Plan 2012, it is only one consideration. In this particular instance, how these larger lots have been created (in particular the size) would also be a consideration.

In this regard, it is noted the current layout is recommended because of the larger lot sizes on the east and north of the subdivision. These larger lots (and subsequent dwellings) are considered critical to how this development will appropriately interface with the surrounding environment, in particular; Glenorie Road, the adjoining RU1 Primary Production land to the east, and more widely how the development will be viewed from Glenorie Road, the wider village, the railway line and the Millthorpe Railway Station (which is an operating railway station and State listed Heritage Item).

It is noted 61 Forest Reefs Road is within the Millthorpe Heritage Conservation Area and additionally this vista along Glenorie Road was identified in Council's recent 2020 Blayney Shire Settlement Strategy as being a key entrance to the village and the visual amenity is to be protected.

It is also highlighted the historic interface between Rural land to the RU5 village zone (immediately to the west of the site) has been addressed through an existing vegetation buffer on the western boundary of 61 Forest Reefs Road, Millthorpe (which will be removed as a result of the development).

The vegetation buffer has historically screened and managed the transition of this important interface, however as this subdivision relocates the historical interface further east the larger lot sizes are considered critical to addressing; land use conflict, heritage conservation and transition of the subdivision. It is also important to note at this point, there is no further residential expansion (further East past this site) along Glenorie Road identified in any strategic planning documentation or studies.

In addition to the typical planning controls, Council recently strengthened its position on heritage through the Blayney Local Strategic Planning Framework (LSPF), which includes the following strategic direction: Protect key heritage assets, heritage streetscapes and town and village entrances by identifying the desired character and ensuring development is sensitive to character in Blayney, Millthorpe, Carcoar and Newbridge.

It would be expected any future development application for subdivision would have to satisfactorily address the abovementioned matters, noting that the larger lot sizes are considered critical for balancing this development into the surrounding environment (both built and natural).

Without necessarily accepting the Council's view that larger allotments (1,000 m² +) to the northern and eastern boundaries of the place are necessary to preserve an appropriate interface with the heritage qualities of the broader setting, it is emphasised that the proposed works would not be at odds with the articulated rationale or expectations of the consent authority.

In that, as discussed below at Section 4.4 of this report, the scheme seeks only to re-subdivide a single southern situated allotment, which is implicitly acknowledged by the Council (and confirmed by this assessment) as having a far less sensitive relationship with the surrounding context than the northern or eastern parts of the *Spring Grove Estate*. Further, the proposed allotment sizes are both well above the minimum 450 m² allowed by the R1 zoning and both infill designs, as freestanding, single-family, low-scale dwellings, would not be reasonably perceived as the type of development generally associated with densification—which could possibly have an impact on the significant morphology of HCA C2.

4.3.2 Pre-Application Heritage Comment

This report notes that the Council's heritage advisor, Mr David Scobie, undertook a preliminary written assessment of the proposal, dated August 2024.

Broadly, Mr Scobie conveyed a general level of comfort with the scale, setbacks, and broad architectural character of the proposed dwellings, but had several minor recommendations regarding the resolution of materials and finishes, detailing (rainwater system, flashings), and landscaping. Of note, no concern with the proposed two-lot subdivision was raised by the Council's independent Heritage Advisor.

4.4 Review of Heritage Impact

The proposal is for the construction of a pair of dwellings, arranged one after another, each on its own allotment. This would require the re-subdivision of the existing single large allotment (1,246 m²) into two allotments: Lot 1 (583.838 m²) and Lot 2 (662.331 m²). The immediate setting is the recently approved 23-lot cul-de-sac subdivision on the southwestern periphery of the village of Millthorpe, known as the *Spring Grove Estate*, that is accessed by Knox Place. The broader setting is the HCA-affected townscape of Millthorpe HCA and the non-heritage listed hinterland of the village.

From a heritage perspective, the relevant considerations include the compatibility of the proposed re-subdivision and infill designs with the character and significance of the Millthorpe HCA (incorporating an array of individual heritage assets) and two nearby heritage items: item I263 and SHR #01193. These aspects of the scheme are discussed in turn below.

That the proposal would not obscure or have a tangible effect on any significant built fabric or landscape elements, nor directly impact on the curtilage of a heritage item, is self-evident (*Res ipsa loquitur*) and not belaboured herein.

4.4.1 Re-subdivision

The pessimistic view of the proposal is that somehow the rapport of the Knox Place subdivision with the Millthorpe HCA and nearby heritage items depends on maintaining the approved allotment pattern, comprising medium to large-scale suburban properties. This position could be afforded some credence if the majority or all of the approved 23-lot subdivision were to be proposed to be further 'cut up' with accompanying dense development typologies (townhouses, small freestanding houses, etc.) built, especially to the northern/front part of the estate. In this scenario, the end result would be a blurring, even distortion of the established village-like development that characterises the Millthorpe HCA (north of the railway line)—arguably, a negative impact. Having said that, as discussed below, the subject area (Knox Place) has a limited, at best, visual connection with the more significant parts of the HCA.

It is the understanding of this report that extensive re-subdivision of the established pattern to Knox Place is not envisaged and that outside the scheme at hand, one house per lot proposals have been approved or under review for other sites in subdivision (excepting for a modest secondary dwelling/granny flat under consideration at no. 15). Of course, the Council has the authority and discretion to manage the matter of broader or future re-subdivision in its own right, should it ever emerge, as it would be able to assess any proposal objectively on its own basis. In the view of this report, this reality should be recognised if concerns about incremental heritage impacts from more extensive changes to the existing allotment pattern were to arise.

Accordingly, it is the opinion of this report that in its own right, the submitted re-subdivision of 24 Knox Place would, at worst, have a negligible impact on the identified significance of the Millthorpe HCA (C2) and no effect whatsoever on the heritage values of 'in the vicinity' items.

Without relying on this fact, it appears that the Council's own independent heritage advisor is also of the same view.

The rationale of this standpoint rests on several factors; however, paramount is the lack of visual connectivity of the Knox Place subdivision and, in particular, the subject place at its rear (south), with the core of Millthorpe HCA. On the basis of having undertaken an extensive walking/windscreen survey of the precinct's public domain, this report is satisfied that the subject place and its immediate setting have only a very nominal level of discernability from within the townscape. While the varied/jumbled built environment of Millthorpe and its capacity to yield unexpected/surprising views and vistas are stressed in its Statement of Significance, this facet has no bearing on the scheme, as the subject land and Knox Place, does not register in any consequential sense within an ambulatory experience of the townscape.

In the case that its presence from within narrow vantage points from within the village core would increase, this would likely only occur once the *Spring Grove Estate* was fully developed. And even then, due to the restricted/limited nature of the subject site/setting's visibility, it would not likely prove an overly domineering or overpowering presence (presumably, a reason behind the Council's support of the recent subdivision in the first place).

As noted, the re-subdivided/developed subject place would be more noticeable from Glenorie Road and a limited section of Forrest Reefs Road, but then only when facing away from the noteworthy vista of the village. The aforementioned outlook could be appreciated by merely turning one's back on Knox Place. It is noted that over time, as other single-family houses on medium-to-large allotments on either side of Knox Place are erected and the eastern landscape buffer cultivated, even these direct and oblique sightlines from Glenorie Road would be further tempered and/or extinguished. Moreover, having traversed the full length of Glenorie Road, this report can state with confidence that even sans the conditioned eastern perimeter plantings and other Knox Place developments, the subject land itself has, at best, an exceedingly low level of visibility from only sections of this corridor.

On this front, the proposed work would not manifest disproportionately (or, for the most part, not at all) within the viewshed of the Millthorpe Railway Station (SHR #01193). While the platform of the latter was not accessible to the author of this document, it is noted to be approximately 280 metres away from the subject land, with the space in between featuring multiple boundary plantings and a rolling/folding topography. These actualities were appreciated by standing on the northern footpath of Glenorie Road, opposite the station platform, which is on roughly the same level. It is fair to assume these factors would negate any strong visual interface between the platform and the subject site.

Further, no public visual relationship exists between the subject land/Knox Place and *The Pines* (item I263), which lies over 190 metres to the west, and is orientated to the north.

From a bird's eye outlook, the subject place and its immediate setting should be recognised as spatially and visually segregated from the nucleus of the Millthorpe HCA, both in terms of its built environs and heritage values. As it is separated by the railway line and forms part of a differing development character, being the suburban in type on the south side of Forest Reef Road or that of larger rural/farmland properties, which defines the precinct's hinterland more broadly. Within this milieu, the proposed scheme would not be incongruent at all and, moreover, would continue to reinforce the distinction between the fine-grain historic village development of Millthorpe proper and its periphery, supporting the overall legibility/interpretability of the significant townscape.

Moreover, the scheme would be of such a limited scale (restricted to one allotment, at the 'back' of the *Spring Grove Estate*) that it would have only an infinitesimal greater impact on the general 'open', hilly rural setting to HCA C2 than already approved under the previous subdivision.

4.4.2 Infill design

On the whole, the siting, single-storey scale, and architectural design of the proposed pair of infill dwellings, along with their provided landscaping, are considered by this report as respectful of the significance and appearance of HCA C2. Sensibly, the forward development (Lot 1) would adopt a character more consciously interpretive of traditional village residences, albeit avoiding mimicry. It would perform, within its garden setting, as the prime interface with the balance of the HCA (to the limited extent there is any profound relationship), substantially shielding/screening the more contemporary development at its rear (Lot 2). For most of its time, the rear design remains gentle in form and recessive in presentation and would not unduly impose itself upon the landscape.

Council's heritage advisor has recommended several design refinements as part of his preliminary assessment, some of which (chiefly landscaping) have been adopted by the Applicant. While this report is not antithetical to these recommendations, it does note that the extensive spatial/visual separation of the subject place and Knox Place from the more cohesive/distinctive historic streetscapes of the Millthorpe HCA lessens the necessity for the integration of more authentic (and costly) design refinements. Nevertheless, should the consent authority deem these revisions of the utmost importance, then they could be readily handled as consent conditions.

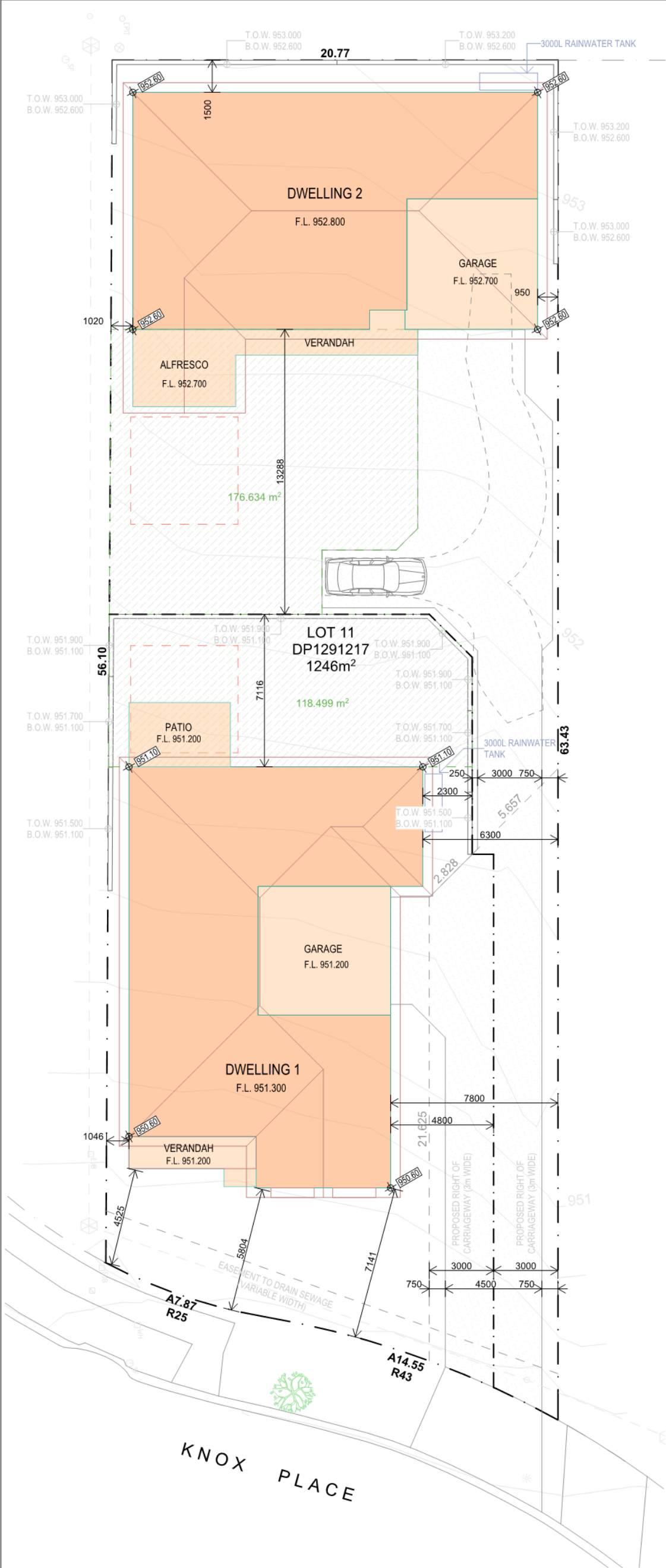
4.5 Conclusion

In sum, this HIS has carefully parsed the Council's concern about the proposed re-subdivision of 24 Knox Place from a heritage impact perspective and, on the basis of ground truthing HCA C2, formulated the independent view that the scheme would have, at worst, only a minimal level of noticeability from a limited number of general (not significant) vantage points within the townscape of the Millthorpe HCA. It is incontestable that the development would not have any adverse impacts on important sightlines or vistas from within or outside the Millthorpe HCA or as relevant to 'in the vicinity' heritage items.

Moreover, the new work would not, in of itself, disrupt the legibility of the village's fine-grain development pattern or relationship to its more 'open' hinterland, noting the low magnitude of the scheme and its location between existing suburban development (west) and rural blocks (east) within an already approved suburban cul-de-sac subdivision.

This report also affords considerable weight to the proposed siting and character of the development, which would sit unobtrusively within the landscape at the southern end of the existing suburban subdivision, well away from its northern and eastern interfaces. The former and latter have been identified by the Council as more critical for sustaining at their current size.

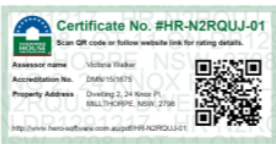
The conservation objective of the BLEP at cl. 5.10 would be satisfied by the proposal, as would the heritage performance measures set out in BSDCP, with any difference in opinion concerning the detailing or materiality of the infill designs readily resolved by further negotiation or consent conditions. Accordingly, this report recommends that the proposal be approved on a heritage basis.

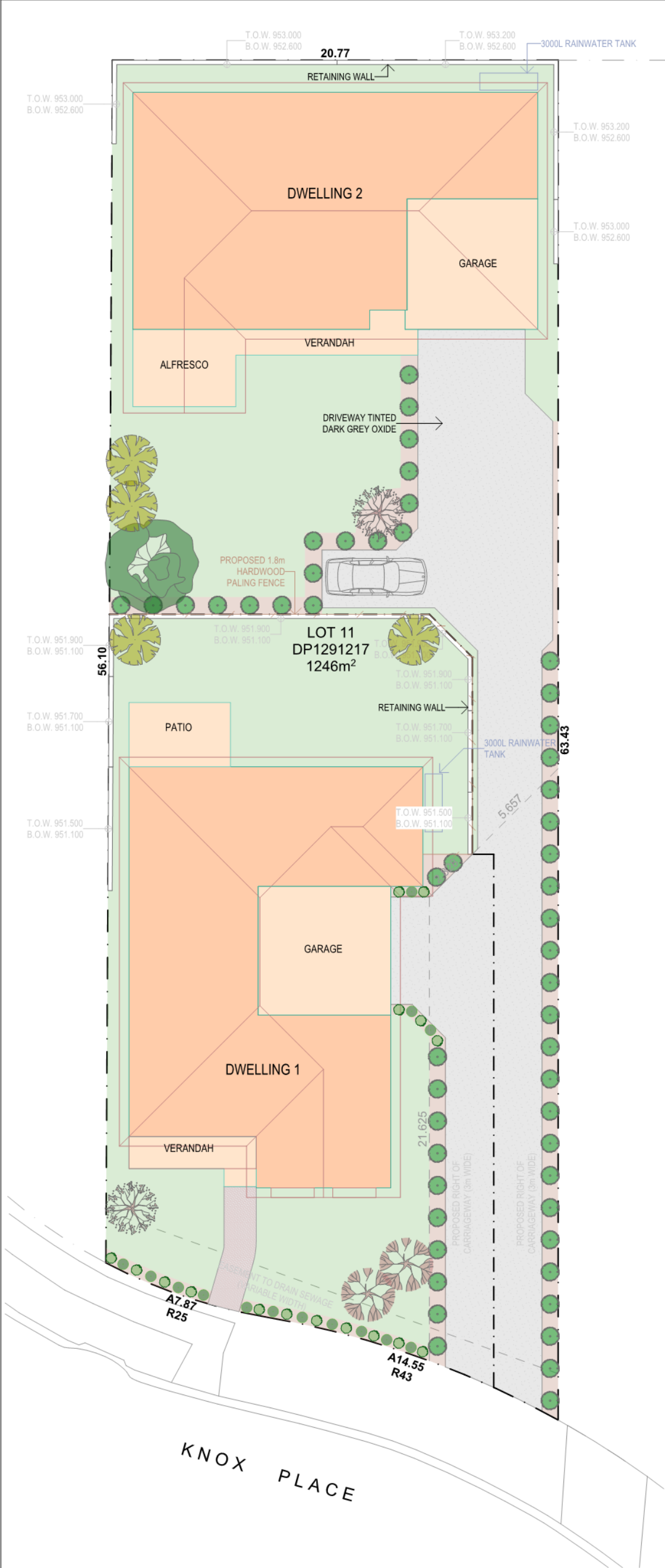


SITE CALCULATIONS	
PROPOSED 2 x DWELLING DEVELOPMENT AT 24 KNOX PLACE MILLTHORPE, N.S.W.	
LOT 11 / DP1291217	
SITE AREA	= 1246m ²
BUILDING AREA:	= 494.25m ² (39.7%)
DRIVEWAY AREA	= 252.41m ² (20.3%)
LANDSCAPE / PERVIOUS AREA	= 499.51m ² (40.1%)
SITE COVERAGE	= 746.66m ² (59.9%)
DWELLING 1:	
SITE AREA	= 583.84m ²
BUILDING AREA	= 258.09m ² (44.2%)
DRIVEWAY AREA	= 68.30m ² (11.7%)
LANDSCAPE / PERVIOUS AREA	= 257.45m ² (44.1%)
SITE COVERAGE	= 326.39m ² (55.9%)
DWELLING 2:	
SITE AREA	= 662.33m ²
BUILDING AREA	= 236.16m ² (35.7%)
DRIVEWAY AREA	= 184.11m ² (27.8%)
LANDSCAPE / PERVIOUS AREA	= 242.06m ² (36.5%)
SITE COVERAGE	= 420.27m ² (63.5%)
PRIVATE OPEN SPACE CALCULATIONS:	
LIVING AREAS:	
DWELLING 1	= 189.59m ²
DWELLING 2	= 164.69m ²
(LIVING AREA CALCULATED INSIDE EXTERNAL WALLS EXCLUDING GARAGE)	
PRIVATE OPEN SPACE:	
DWELLING 1	REQUIRED = 94.80m ² PROVIDED = 118.50m ²
DWELLING 2	REQUIRED = 82.35m ² PROVIDED = 176.63m ²
(P.O.S. PROVIDED - MIN. 50% OF LIVING AREA, MIN. DIMENSION OF 3m)	

LEGEND:	
	PROPOSED FINISHED GROUND R.L.
	EXISTING GROUND CONTOURS
	5m x 5m PRIVATE OPEN SPACE
	PRIVATE OPEN SPACE MIN. DIMENSION OF 3m

SITE PLAN
SCALE 1:200





LANDSCAPING SPECIFICATION:

LAWN AREAS TO BE TURFED OR SOWN.

TURFING:

OBTAIN TURF FROM A SPECIALIST LOCAL GROWER OF CULTIVATED TURF.
TURF TO BE LAID, FERTILISED & WATERED AS SPECIFIED BY SUPPLIER.

SOWING:

PROVIDE LAWN SEED MIXTURE SUITABLE FOR LOCAL CLIMATE.
SOW SEED AS RECOMMENDED BY SUPPLIER.
WATER AND FERTILISE IN AN APPROVED MANNER.

GARDEN BEDS:

GARDEN BEDS TO BE FILLED WITH 200mm MIN. OF GOOD QUALITY TOPSOIL.
PRIOR TO INSTALLATION OF TOPSOIL, GROUND TO BE RIPPED TO MIN. DEPTH OF 300mm.
SPECIFIED PLANTS AND GROUND COVERS TO BE PLANTED IN GARDEN BEDS.
BEDS TO BE MULCHED WITH GOOD QUALITY SHREDDED MULCH.

TREE & PLANT PLANTING:

EXCAVATE PLANT HOLES LARGE ENOUGH TO ACCEPT ROOT BALLS AND 0.1m³ OF BACKFILLING WITH TOPSOIL.
THOROUGHLY WATER THE PLANTS BEFORE AND IMMEDIATELY AFTER PLANTING AND AS REQUIRED TO MAINTAIN GROWTH RATES FREE OF STRESS.
USE SUITABLE PLANT FERTILISER AROUND PLANTS AT TIME OF PLANTING.

MULCH:

MULCH APPLIED TO GARDEN BEDS TO BE MIN. DEPTH OF 85mm.
MULCH TO BE OF GOOD QUALITY ORGANIC MATERIAL.

STAKING OF PLANTS AND TREES:

INSTALL HARDWOOD STAKES DRIVEN IN TO THE GROUND AT LEAST 1/3 THEIR LENGTH. AVOID ROOT DAMAGE DURING INSTALLATION.

STAKE SIZES:

FOR PLANTS > 2.5m HIGH: THREE 50 x 50 x 2.4m STAKES PER PLANT
FOR PLANTS 1 - 2.5m HIGH: TWO 50 x 50 x 1.8m STAKES PER PLANT
FOR PLANTS < 1.0m HIGH: ONE 38 x 38 x 1.2m STAKE PER PLANT

TIE PLANTS TO STAKES WITH APPROVED TIES SO AS NOT TO DAMAGE PLANT OR TREE

COMPLETION:

THROUGHOUT THE PLANTING & ESTABLISHMENT PERIOD, CARRY OUT MAINTENANCE WORK INCLUDING WATERING, MOWING, RUBBISH REMOVAL, FERTILISING, PEST & DISEASE CONTROL, RE-SEEDING, RE-TURFING, STAKING & TYING, CULTIVATING, PRUNING, REINSTATEMENT OF MULCH, TOP DRESSING & KEEPING SITE NEAT AND TIDY.
CONTINUE TO REPLACE FAILED, DAMAGED OR STOLEN PLANTS.

EXTERNAL FENCES:

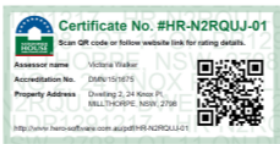
WHERE ANY EXISTING FENCING AT THE PERIMETER OF THE SITE NEEDS TO BE REMOVED, OR IS OF A TYPE WHICH DOES NOT ENSURE THE OCCUPANTS OF ANY ADJOINING RESIDENCE ADEQUATE PRIVACY, NEW 1.8m HIGH HARDWOOD TIMBER PALING FENCE TO BE ERECTED PRIOR TO ANY BUILDING OR CONSTRUCTION WORK BEING CARRIED OUT UPON THIS DEVELOPMENT.
INTERNAL FENCING BETWEEN DWELLING TO BE 1.8m HIGH HARDWOOD TIMBER PALING FENCING.

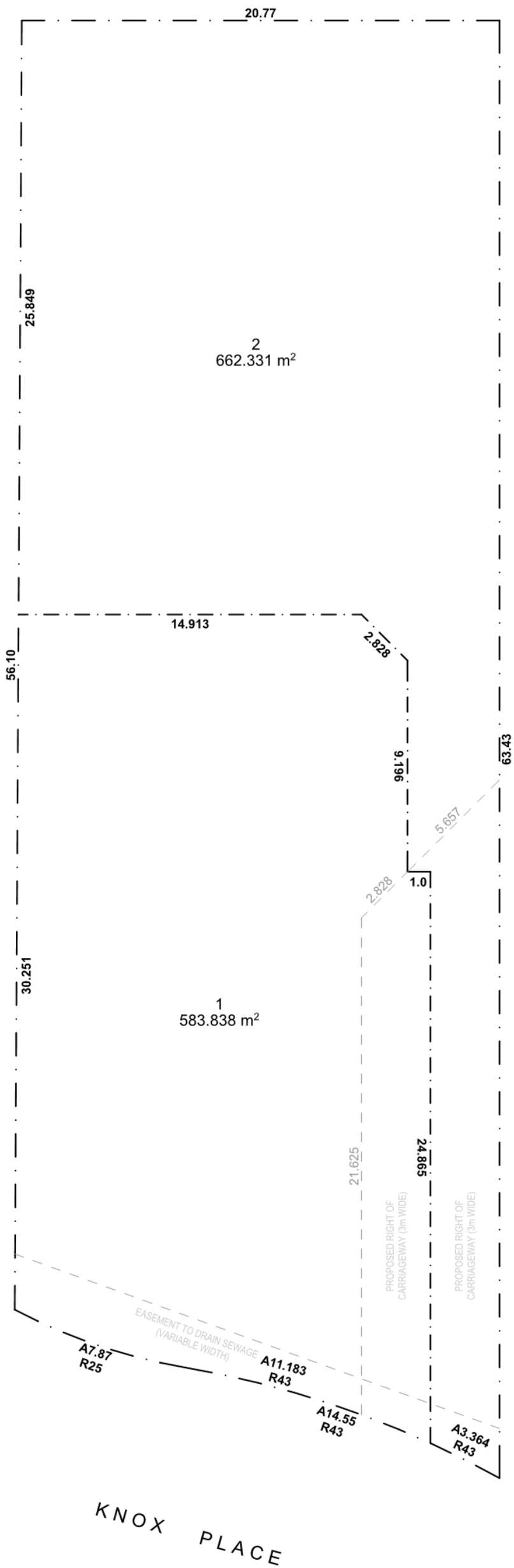
PLANTING SCHEDULE

SYMBOL	DETAILS	QTY.
	ACER X FREEMANII - AUTUMN BLAZE MATURE HEIGHT: 10 - 12m 75L POT SIZE	1
	PYRUS CAPITAL PEAR MATURE HEIGHT: 8m 330mm POT SIZE	4
	LAGERSTROEMIA SIOUX - CREPE MYRTLE MATURE HEIGHT: 6-7m 400mm POT SIZE	2
	ACER PALMATUM - JAPANESE MAPLE MATURE HEIGHT: 5-6m 330mm POT SIZE	2
	TEUCRIUM FRUTICANS HEDGE MATURE HEIGHT: 1.5m 200mm POT SIZE	53
	BUXUS MICROPHYLLA MATURE HEIGHT: 0.9m 200mm POT SIZE	14
	PITTOSPORUM - GOLF BALL MATURE HEIGHT: 0.9m 200mm POT SIZE	16

LANDSCAPE PLAN

SCALE 1:200



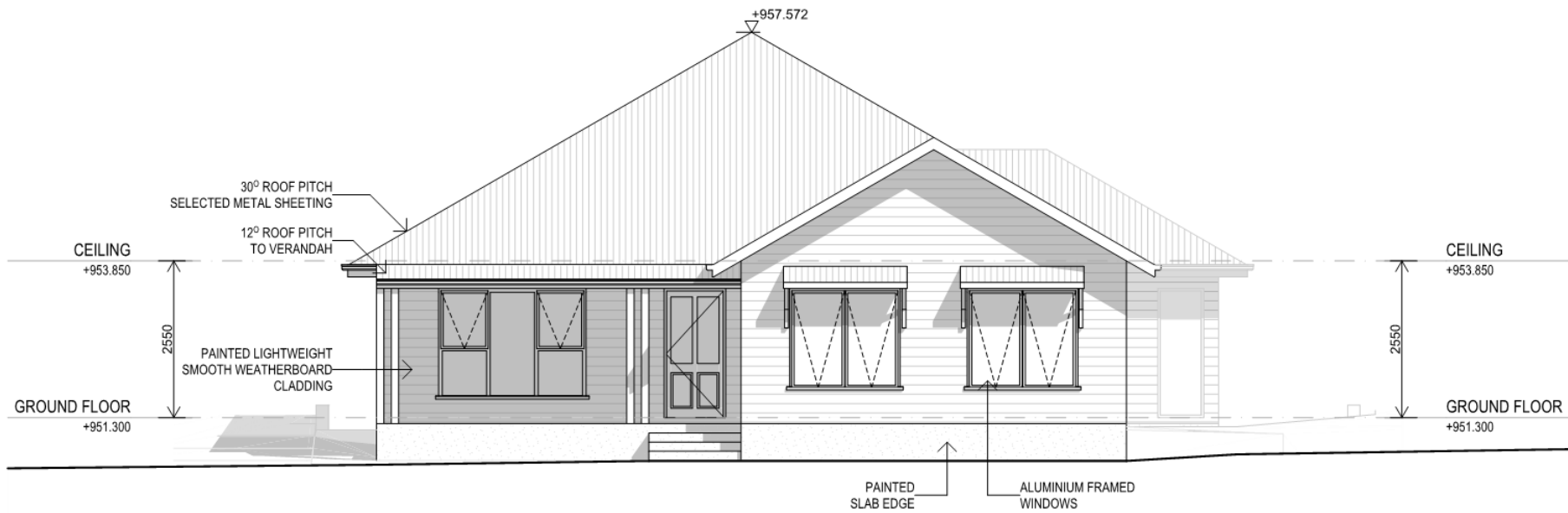


SUBDIVISION PLAN

SCALE 1:200



 <div>WWW.BASSMANN.COM.AU ENQUIRIES@BASSMANN.COM.AU 0429 048 013</div>	 <div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div>	Project: PROPOSED 2 x DWELLINGS 24 KNOX PLACE MILLTHORPE NSW 2798			Job No. 24-031
		Title: SUBDIVISION PLAN			Dwg No. 03
		Client: B. NORTH			Drawings in set: 19
		Scale: @A3 Drawn: TH Date: 1/10/2024			© - Bassmann Drafting Services





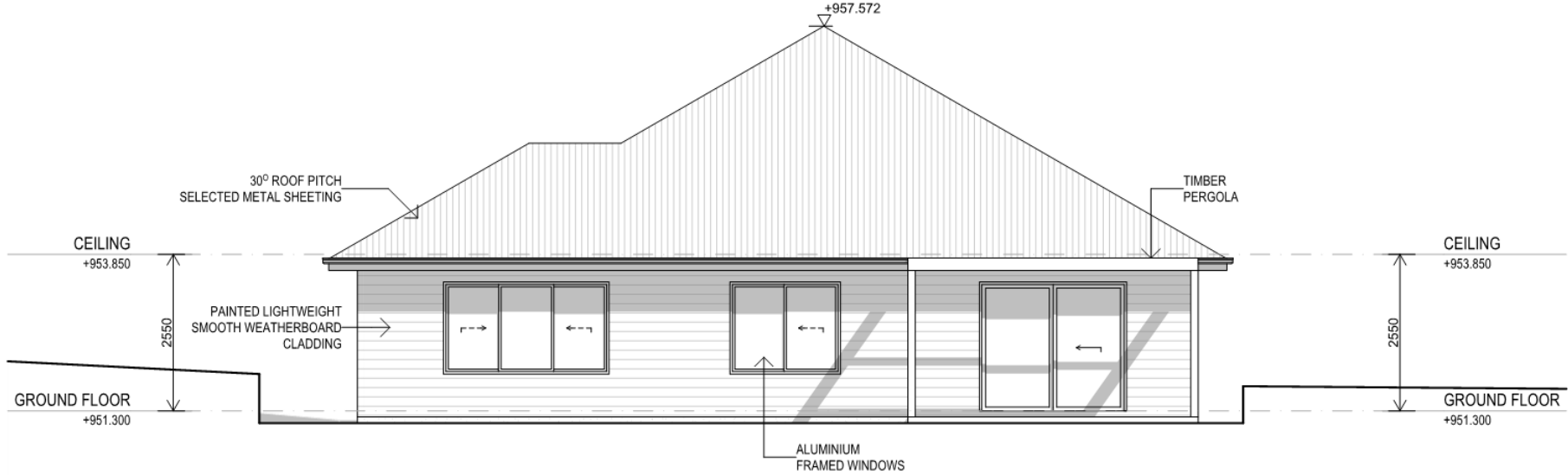
NORTH ELEVATION
SCALE 1:100



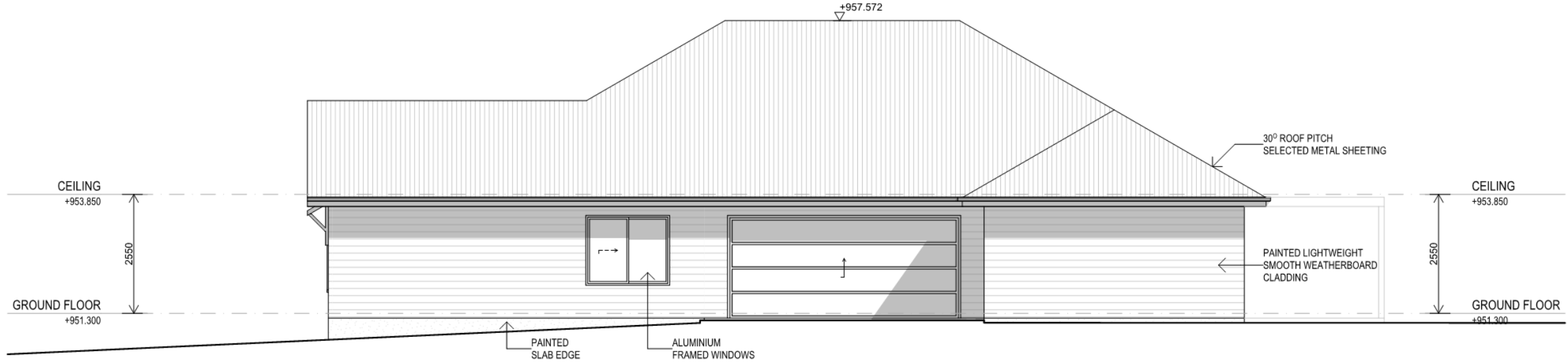
EAST ELEVATION
SCALE 1:100



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No. Description Date		Title: DWELLING 1 - ELEVATIONS		Drawings in set: 19		Client: B. NORTH		Dwg No. 06 Issue:
Amendments		Scale: @A3		Drawn: TH		Date: 1/10/2024		© - Bassmann Drafting Services





SOUTH ELEVATION
SCALE 1:100



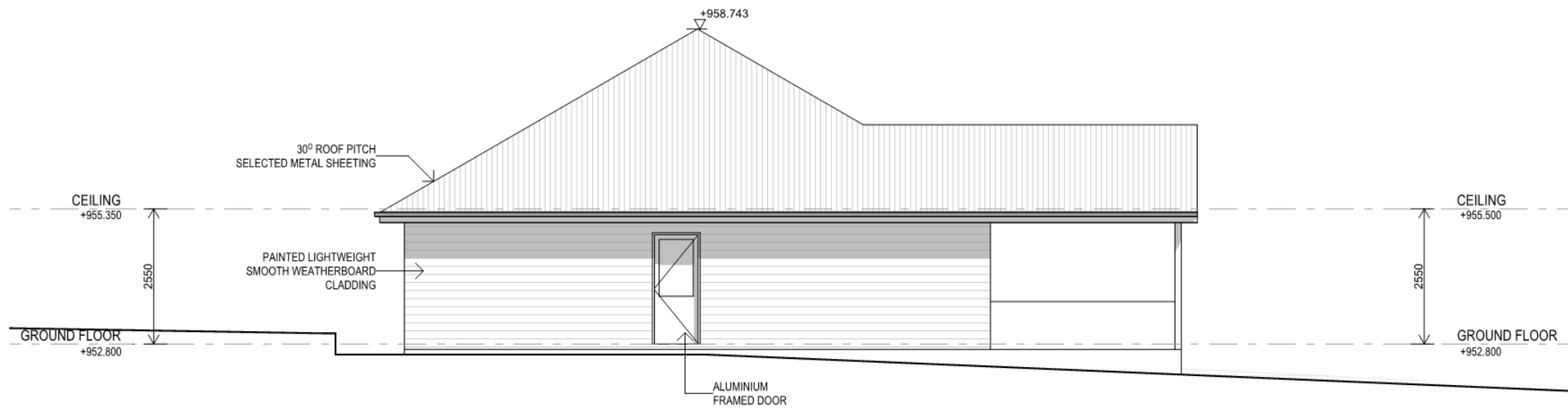
WEST ELEVATION
SCALE 1:100



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		ENQUIRIES@BASSMANN.COM.AU		Title: DWELLING 1 - ELEVATIONS		Drawing No. 07	
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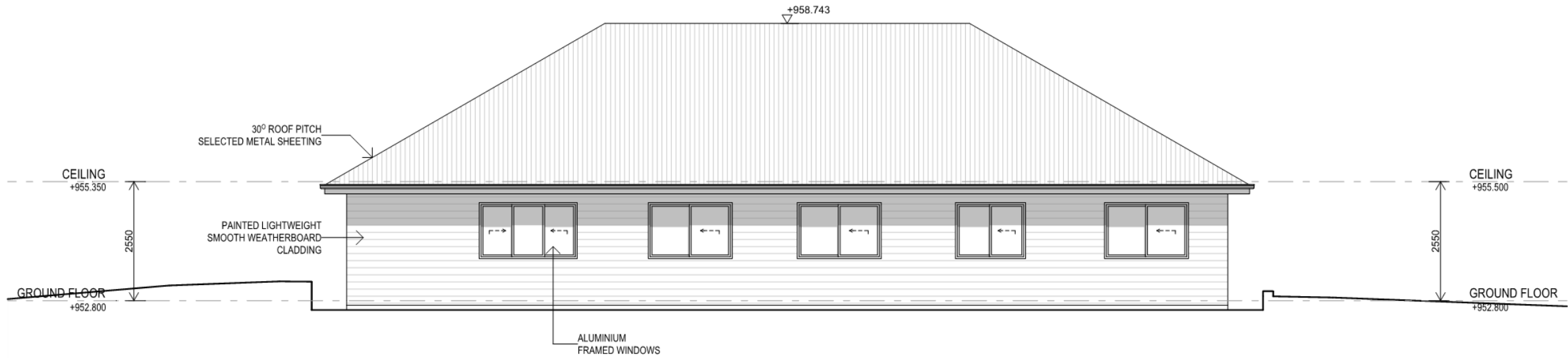
NORTH ELEVATION
SCALE 1:100



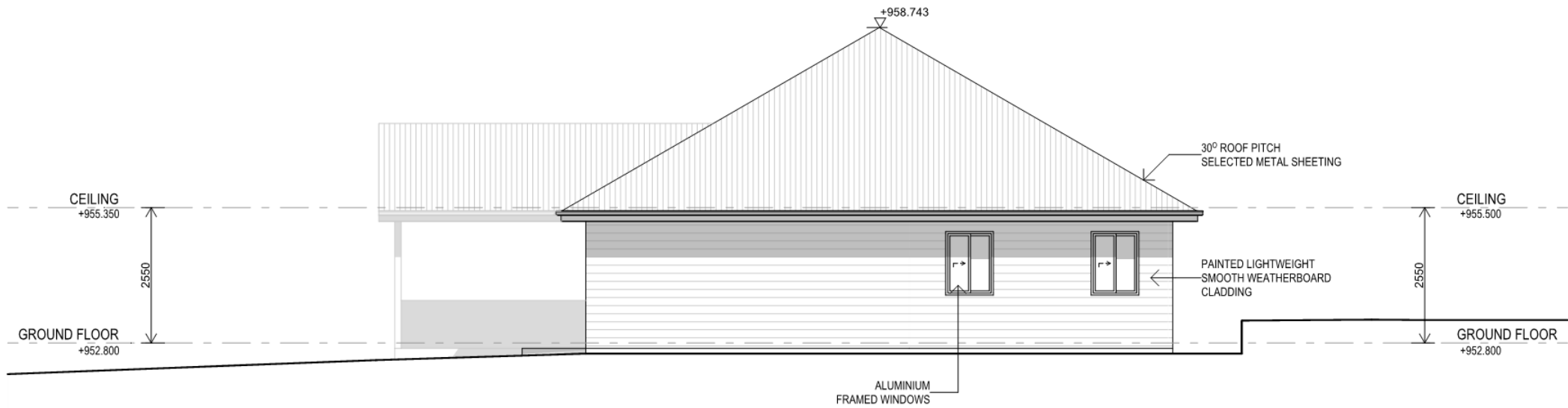
EAST ELEVATION
SCALE 1:100



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Amendments		Scale: @A3		Drawn: TH		Date: 1/10/2024		Client: B. NORTH	
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SOUTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



 BASSMANN DRAFTING SERVICES <small>A.B.N. 78 048 013</small>		 bdaa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA		<table><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td>No.</td><td>Description</td><td>Date</td></tr></table>											No.	Description	Date	<table><tr><td>Project.</td><td>PROPOSED 2 x DWELLINGS 24 KNOX PLACE MILLTHORPE NSW 2798</td><td>Job No.</td><td>24-031</td></tr><tr><td></td><td></td><td>Dwg No.</td><td>11</td></tr><tr><td></td><td></td><td>Issue.</td><td></td></tr></table>		Project.	PROPOSED 2 x DWELLINGS 24 KNOX PLACE MILLTHORPE NSW 2798	Job No.	24-031			Dwg No.	11			Issue.	
No.	Description	Date																													
Project.	PROPOSED 2 x DWELLINGS 24 KNOX PLACE MILLTHORPE NSW 2798	Job No.	24-031																												
		Dwg No.	11																												
		Issue.																													
		<table><tr><td colspan="2">Amendments</td><td>Title.</td><td>DWELLING 2 - ELEVATIONS</td><td>Drawings in set.</td><td>19</td></tr><tr><td>Scale.</td><td>@A3</td><td>Drawn.</td><td>TH</td><td>Date.</td><td>1/10/2024</td></tr></table>		Amendments		Title.	DWELLING 2 - ELEVATIONS	Drawings in set.	19	Scale.	@A3	Drawn.	TH	Date.	1/10/2024	<table><tr><td>Client.</td><td>B. NORTH</td><td colspan="2">© - Bassmann Drafting Services</td></tr></table>		Client.	B. NORTH	© - Bassmann Drafting Services											
Amendments		Title.	DWELLING 2 - ELEVATIONS	Drawings in set.	19																										
Scale.	@A3	Drawn.	TH	Date.	1/10/2024																										
Client.	B. NORTH	© - Bassmann Drafting Services																													

WINDOW NO.	D01	D02	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10
W x H SIZE	1 000×2 100	2 400×2 100	1 800×1 650	1 800×1 650	2 400×1 800	1 500×1 200	1 800×1 500	800×1 200	1 800×1 500	2 700×1 500	750×2 100	1 800×1 500
FRAME	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
OPENING TYPE	Hinged	Sliding	Awning	Awning	Awning	Sliding	Sliding	Sliding	Sliding	Sliding	Fixed	Sliding
GLAZING	U-3.55; SHGC-0.47	U-3.35; SHGC-0.58	U-3.64; SHGC-0.43	U-3.64; SHGC-0.43	U-3.64; SHGC-0.43	U-3.40; SHGC-0.56	U-3.40; SHGC-0.56	U-3.40; SHGC-0.56	U-3.40; SHGC-0.56	U-3.40; SHGC-0.56	U-2.62; SHGC-0.57	U-3.40; SHGC-0.56
HEAD HEIGHT	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100
EXTERNAL VIEW												


DWELLING 1 WINDOWS

WINDOW NO.	D01	D02	D03	W01	W02	W03	W04	W05	W06	W07	W08	W09
W x H SIZE	1 000×2 100	3 000×2 100	900×2 100	2 400×1 800	2 400×1 800	1 800×1 200	1 500×1 200	1 800×1 200	1 800×1 200	2 100×1 200	900×1 200	900×1 200
FRAME	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
OPENING TYPE	Hinged	Sliding	Hinged	Sliding	Sliding	Sliding	Sliding	Sliding	Sliding	Sliding	Sliding	Sliding
GLAZING	U-5.88; SHGC-0.56	U-6.24; SHGC-0.72	U-5.88; SHGC-0.56	U-6.38; SHGC-0.72	U-6.38; SHGC-0.72	U-6.38; SHGC-0.72	U-6.38; SHGC-0.72	U-6.38; SHGC-0.72	U-6.38; SHGC-0.72	U-6.38; SHGC-0.72	U-6.38; SHGC-0.72	U-6.38; SHGC-0.72
HEAD HEIGHT	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100	2 100
EXTERNAL VIEW												

DWELLING 2 WINDOWS

BASIX - DWELLING 1 COMPLIANCE ASSESSMENT DETAILS WATER FIXTURES (MIN.) SHOWER HEAD RATING = 3 STAR TOILET RATING = 4 STAR KITCHEN TAPS RATING = 4 STAR BATHROOM BASIN TAPS RATING = 4 STAR ALTERNATIVE WATER RAINWATER TANK = 3000L MIN. TO COLLECT RUNOFF FROM AT LEAST 270m ² CONNECTED TO OUTDOOR TAP, ALL TOILETS	ENERGY HOT WATER ELECTRIC HEAT PUMP COOLING 3 PHASE A/C 2.5 - 3.0 EER (MIN.) HEATING 3 PHASE A/C 3.0 - 3.5 EER (MIN.) HEATING AND COOLING SYSTEM TO BE DAY / NIGHT ZONED, BETWEEN LIVING AND BEDROOM AREAS. VENTILATION THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT: KITCHEN, LAUNDRY & AT LEAST 1 BATHROOM - INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF ARTIFICIAL LIGHTING THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORO OR LED LAMPS OTHER THE APPLICANT MUST INSTALL AN INDUCTION COOKTOP AND ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT	THERMAL COMFORT - R 2.5 insulation to external framed walls - R 2.5 insulation to internal walls separating unconditioned zones (Garage, BATH, Kitchen/Living) from remainder of dwelling - R 1.3 anti-condensation blanket under framed roof - R 4.0 bulk insulation to all ceilings to framed roof space - 20 Downlights maximum to Kitchen/Living area - Glazing to achieve the values noted on NATHERS certificate - IC-rated recessed lights able to be covered by insulation - Building fabric thermal insulation must be installed so that it complies with Part 13.2.2 of the ABCB Housing Provisions - Insulation of Services must comply with Part 13.7.2, 3, & 4 of the ABCB Housing Provisions - Artificial lighting must comply with Part 13.7.6 of the ABCB Housing Provisions - A water heater in a heated water supply system must be designed and installed in accordance with Part B of NCC Vol3 - An external door, internal door between a Class 1 building and an unconditioned Class 10a building, openable window and other such opening must be sealed when serving a conditioned space or a habitable room in climate zones 4, 5, 6, 7 & 8, via a draft protection device for the bottom edge of a door, or for other edges may be a foam or rubber compressible strip, fibrous seal or the like. A window complying with the maximum air infiltration raters specified in AS 2047 complies with these requirements. - Ceilings, walls, floors and any opening such as a window framed, door frame, roof light frame or the like must be constructed to minimise air leakage when forming part of the external fabric of a conditioned space or a habitable room in climate zones 4, 5, 6, 7 & 8, by being enclosed by internal lining systems that are close fitting at ceiling, wall and floor junctions; or sealed at junctions and penetrations with close-fitting architrave, skirting or cornice; or expanding foam, rubber compressive strip, caulking or the like. - All toilet cisterns must have a dual flush function and have a minimum 4-star WELS rating and be compatible with the size of the toilet bowl to allow for proper functioning of the toilet.	BASIX - DWELLING 2 COMPLIANCE ASSESSMENT DETAILS WATER FIXTURES (MIN.) SHOWER HEAD RATING = 3 STAR TOILET RATING = 4 STAR KITCHEN TAPS RATING = 4 STAR BATHROOM BASIN TAPS RATING = 4 STAR ALTERNATIVE WATER RAINWATER TANK = 3000L MIN. TO COLLECT RUNOFF FROM AT LEAST 256m ² CONNECTED TO OUTDOOR TAP, ALL TOILETS	ENERGY HOT WATER ELECTRIC HEAT PUMP COOLING 3 PHASE A/C 2.5 - 3.0 EER (MIN.) HEATING 3 PHASE A/C 3.0 - 3.5 EER (MIN.) HEATING AND COOLING SYSTEM TO BE DAY / NIGHT ZONED, BETWEEN LIVING AND BEDROOM AREAS. VENTILATION THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT: KITCHEN & AT LEAST 1 BATHROOM - INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF ARTIFICIAL LIGHTING THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORO OR LED LAMPS OTHER THE APPLICANT MUST INSTALL AN INDUCTION COOKTOP AND ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT	THERMAL COMFORT - R 2.5 insulation to external framed walls - R 2.5 insulation to internal walls separating unconditioned zones (bath, laundry, garage) from remainder of dwelling - R 1.3 anti-condensation blanket under framed roof - R 5.0 bulk insulation to all ceilings to framed roof space - Ironstone coloured window frames - 85mm Waffle Pod Slab on ground with R0.56 – 175mm waffle insulation - Glazing to achieve the values noted on NATHERS certificate - IC-rated recessed lights able to be covered by insulation - Building fabric thermal insulation must be installed so that it complies with Part 13.2.2 of the ABCB Housing Provisions - Insulation of Services must comply with Part 13.7.2, 3, & 4 of the ABCB Housing Provisions - Artificial lighting must comply with Part 13.7.6 of the ABCB Housing Provisions - A water heater in a heated water supply system must be designed and installed in accordance with Part B of NCC Vol3 - An external door, internal door between a Class 1 building and an unconditioned Class 10a building, openable window and other such opening must be sealed when serving a conditioned space or a habitable room in climate zones 4, 5, 6, 7 & 8, via a draft protection device for the bottom edge of a door, or for other edges may be a foam or rubber compressible strip, fibrous seal or the like. A window complying with the maximum air infiltration raters specified in AS 2047 complies with these requirements. - Ceilings, walls, floors and any opening such as a window framed, door frame, roof light frame or the like must be constructed to minimise air leakage when forming part of the external fabric of a conditioned space or a habitable room in climate zones 4, 5, 6, 7 & 8, by being enclosed by internal lining systems that are close fitting at ceiling, wall and floor junctions; or sealed at junctions and penetrations with close-fitting architrave, skirting or cornice; or expanding foam, rubber compressive strip, caulking or the like. - All toilet cisterns must have a dual flush function and have a minimum 4-star WELS rating and be compatible with the size of the toilet bowl to allow for proper functioning of the toilet.
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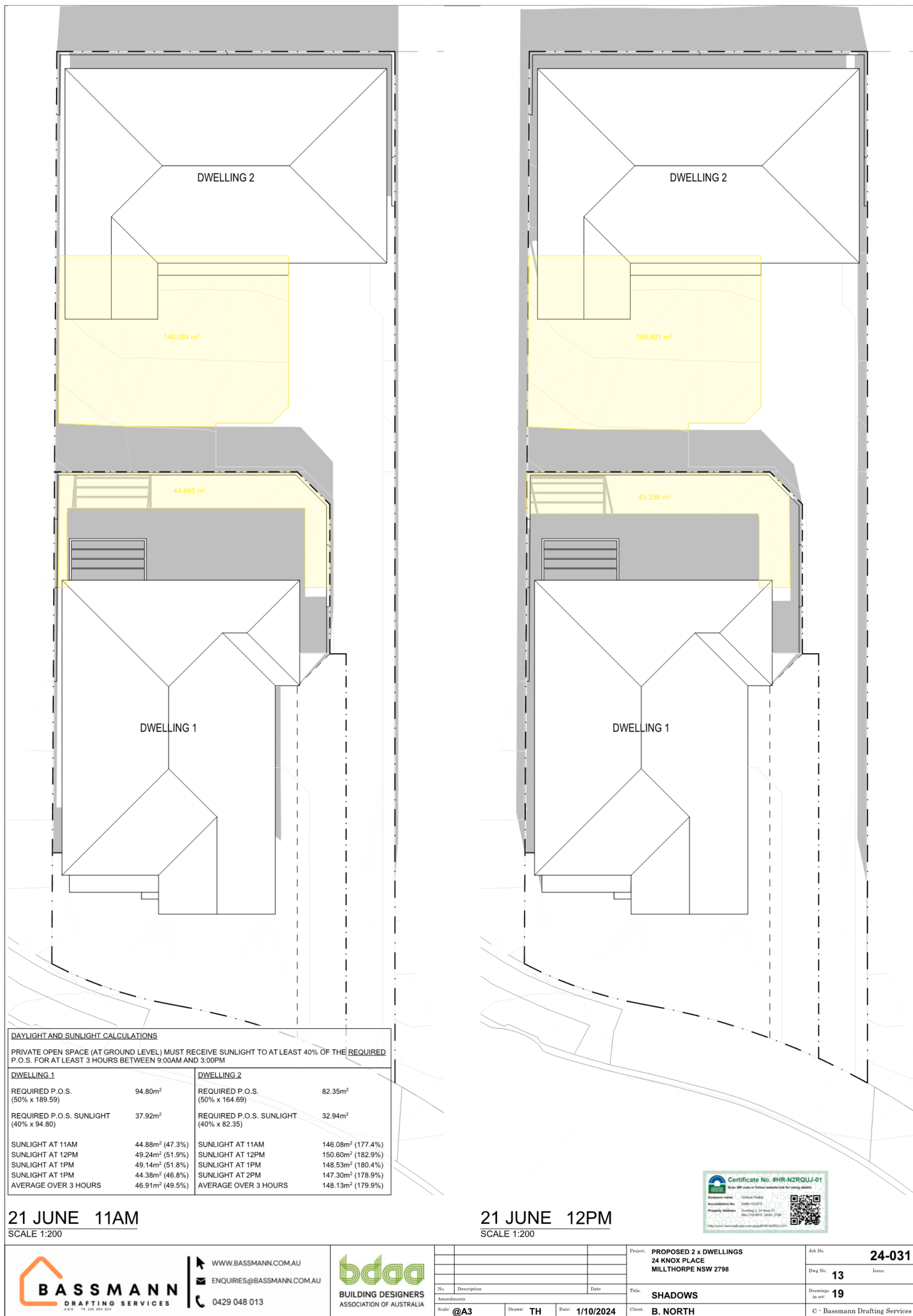


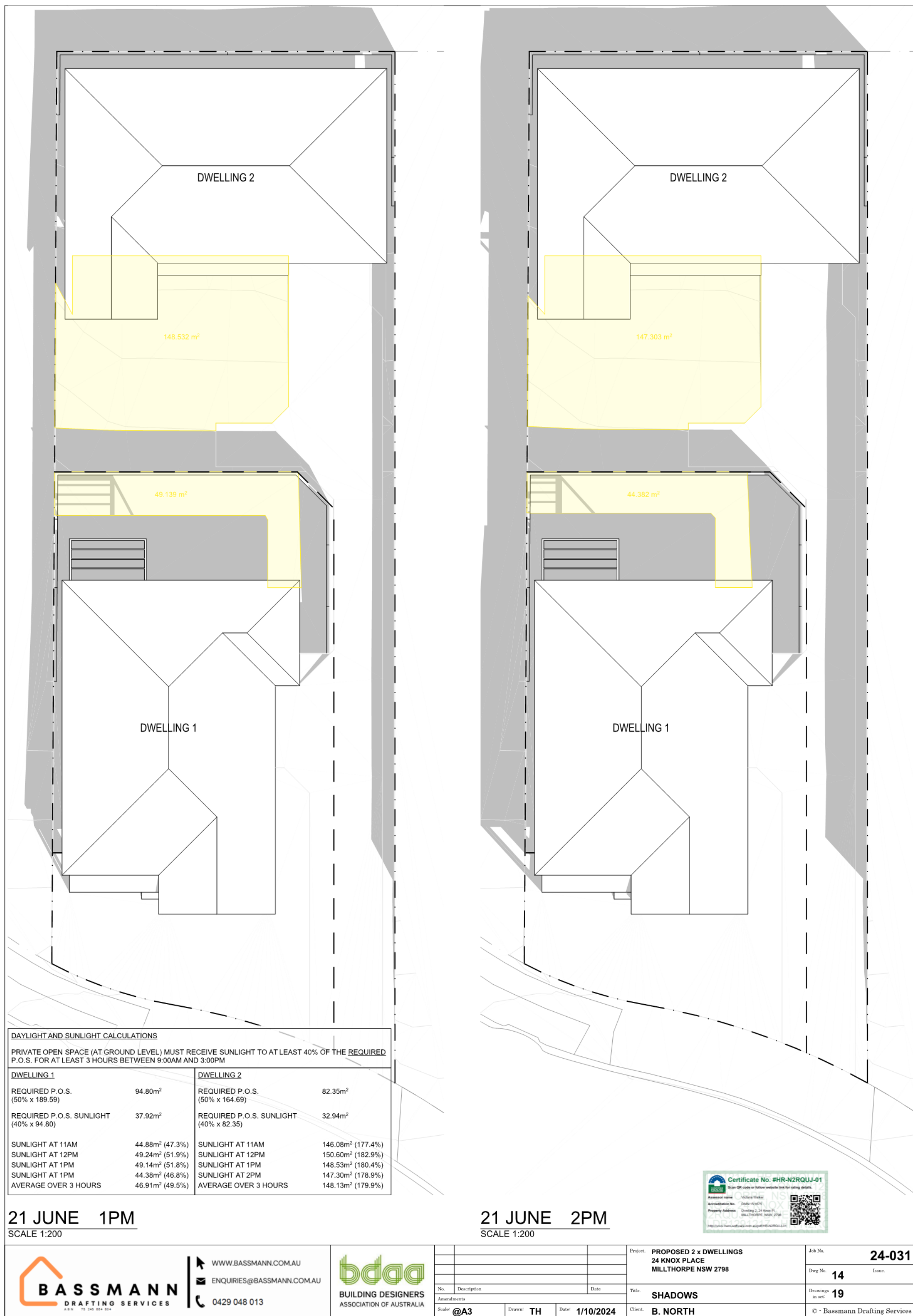
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Drawg No. 12		Issues.	
Title. WINDOW SCHEDULE		Drawings in set: 19	
Client. B. NORTH		© - Bassmann Drafting Services	

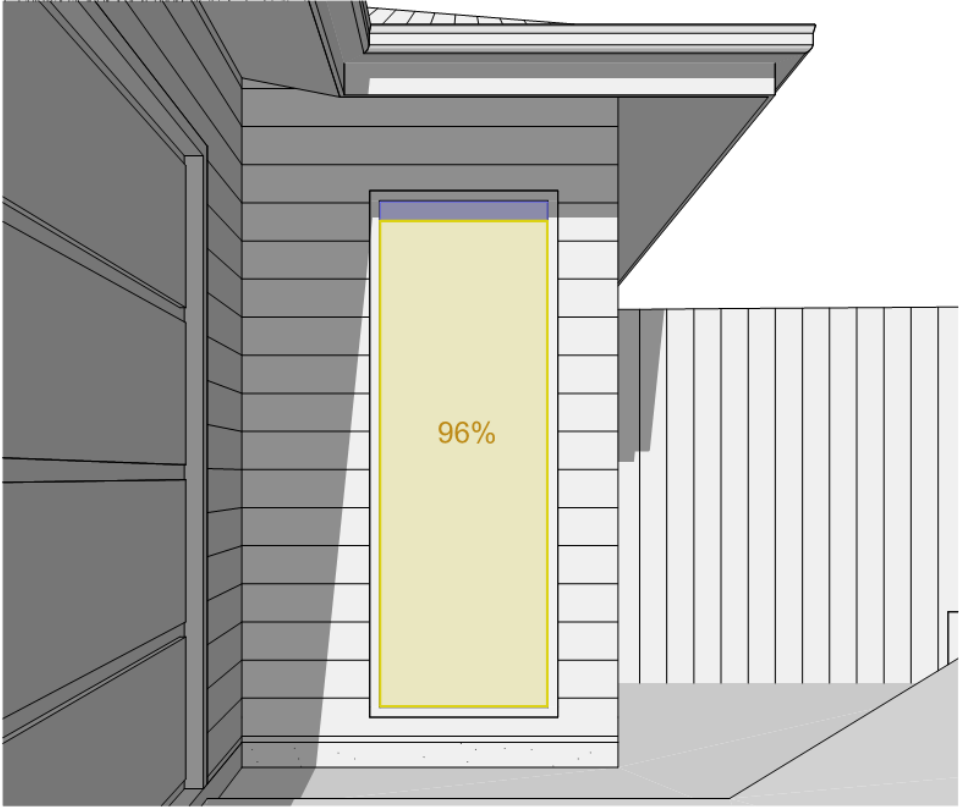
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Amendments

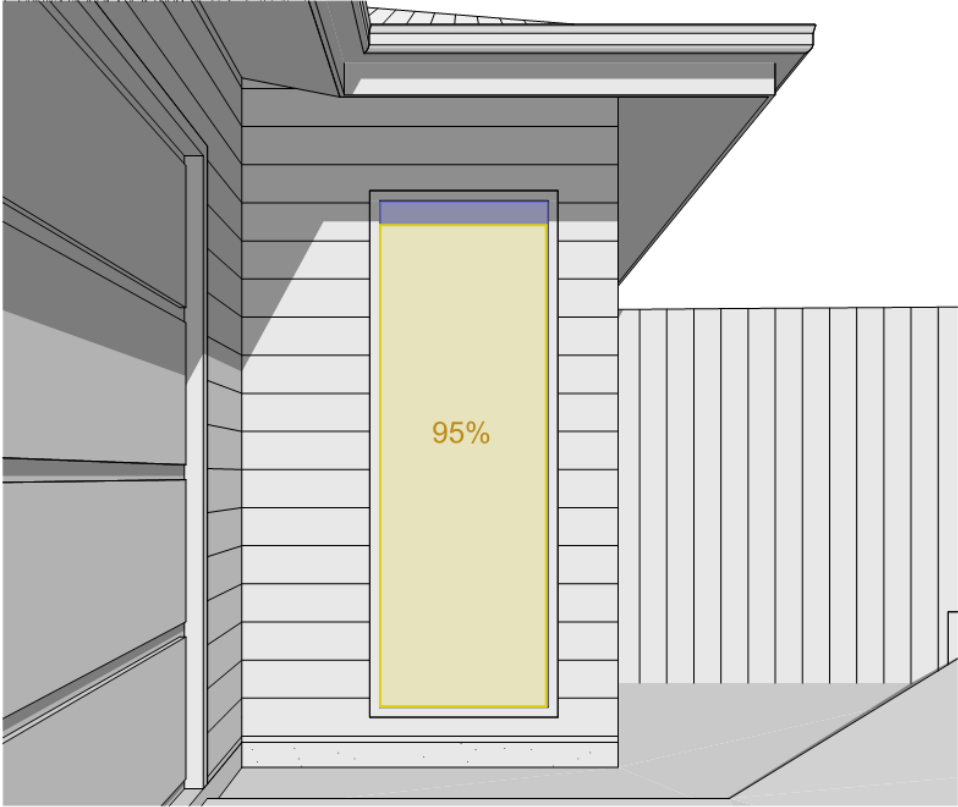
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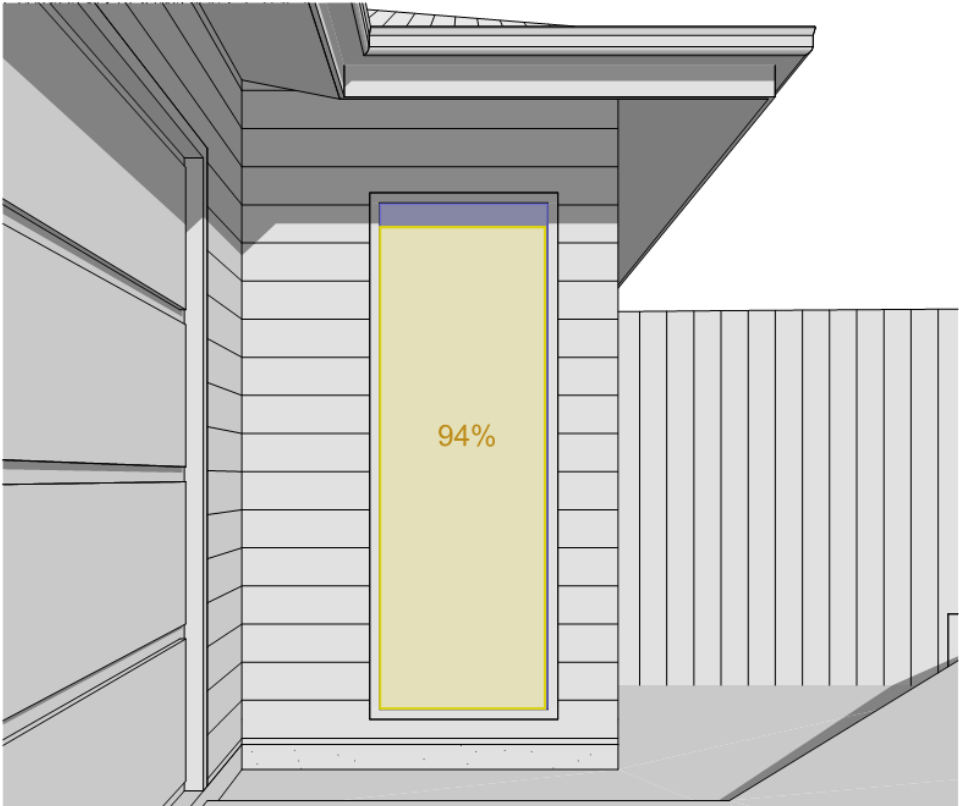




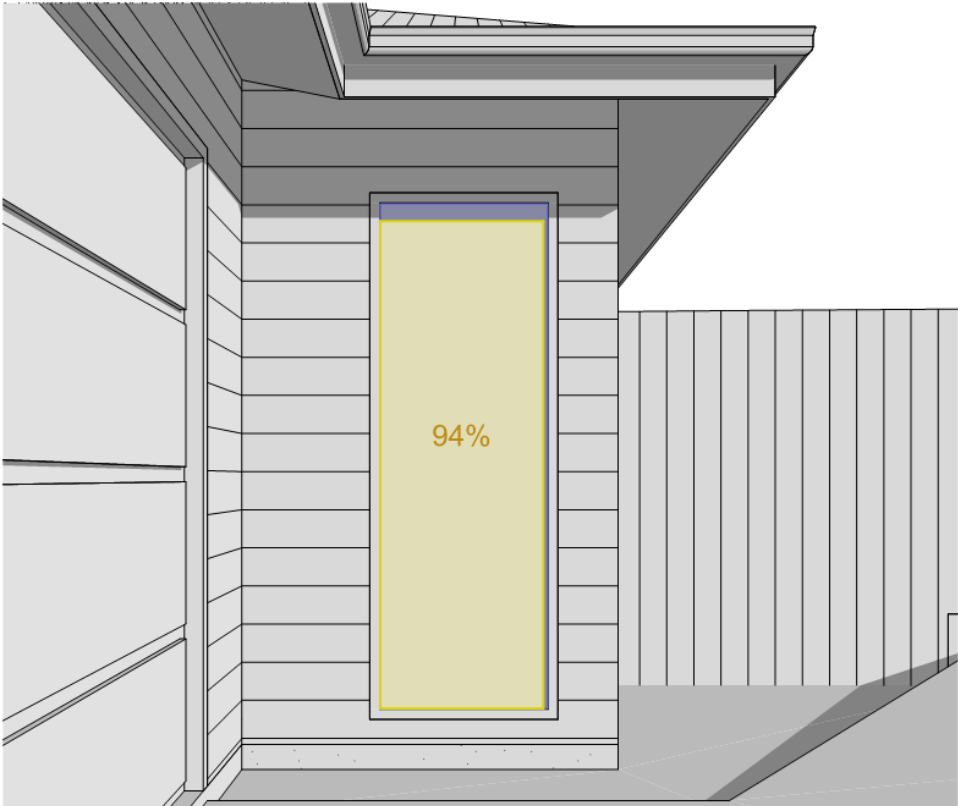
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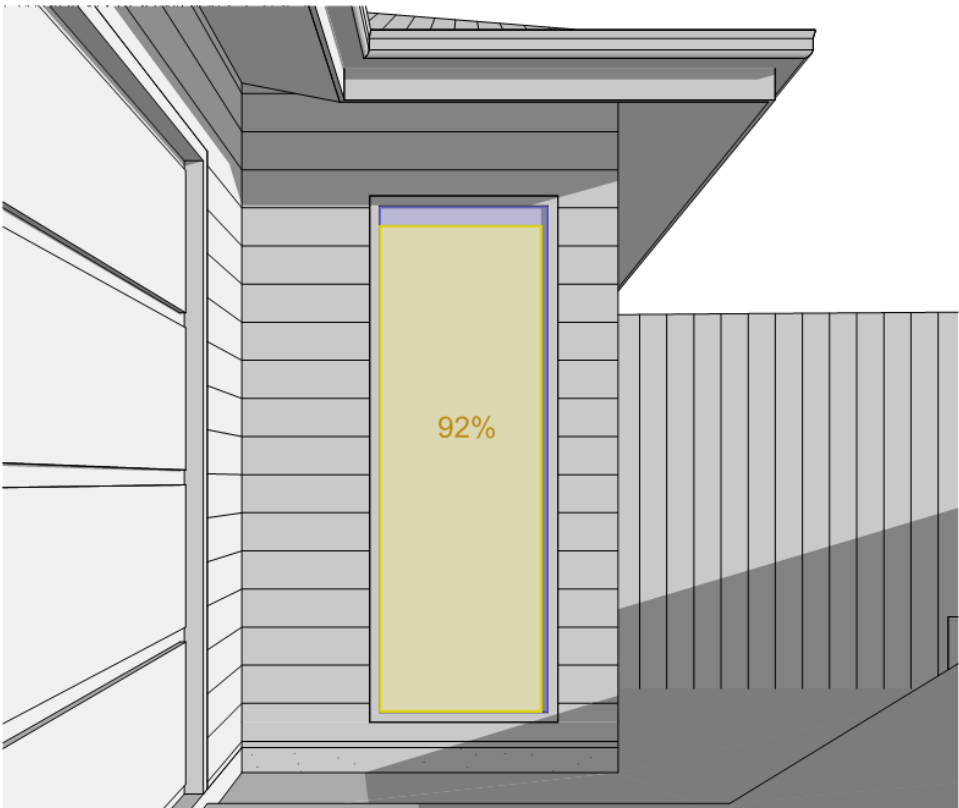
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21 JUNE 1:30PM



21 JUNE 2:30PM

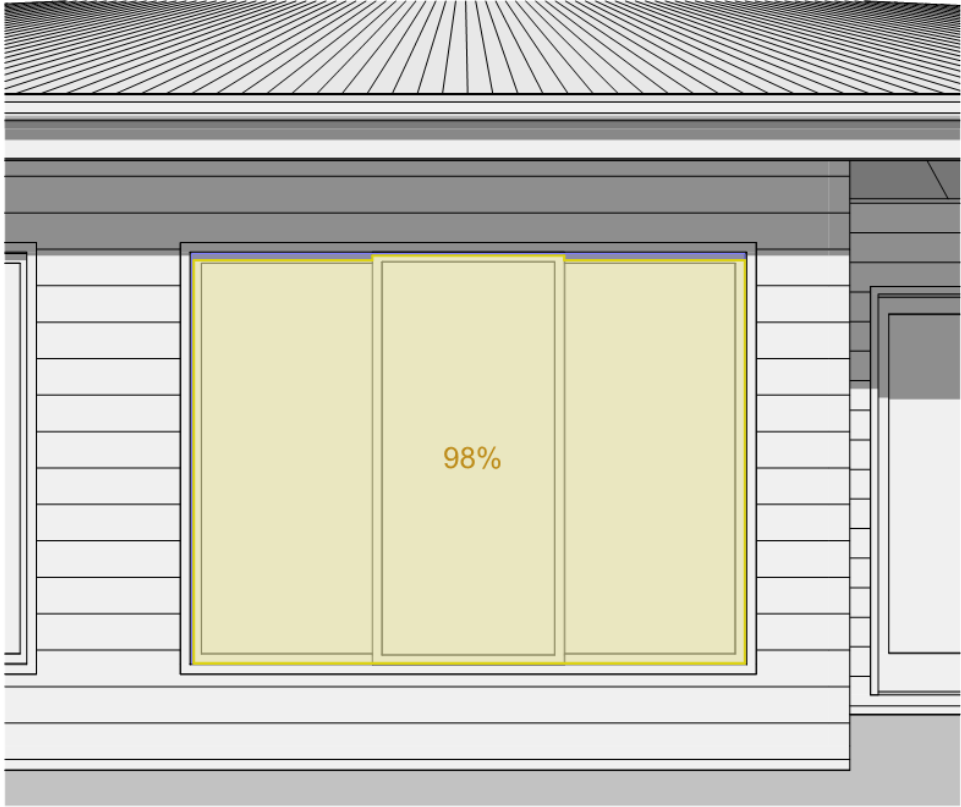


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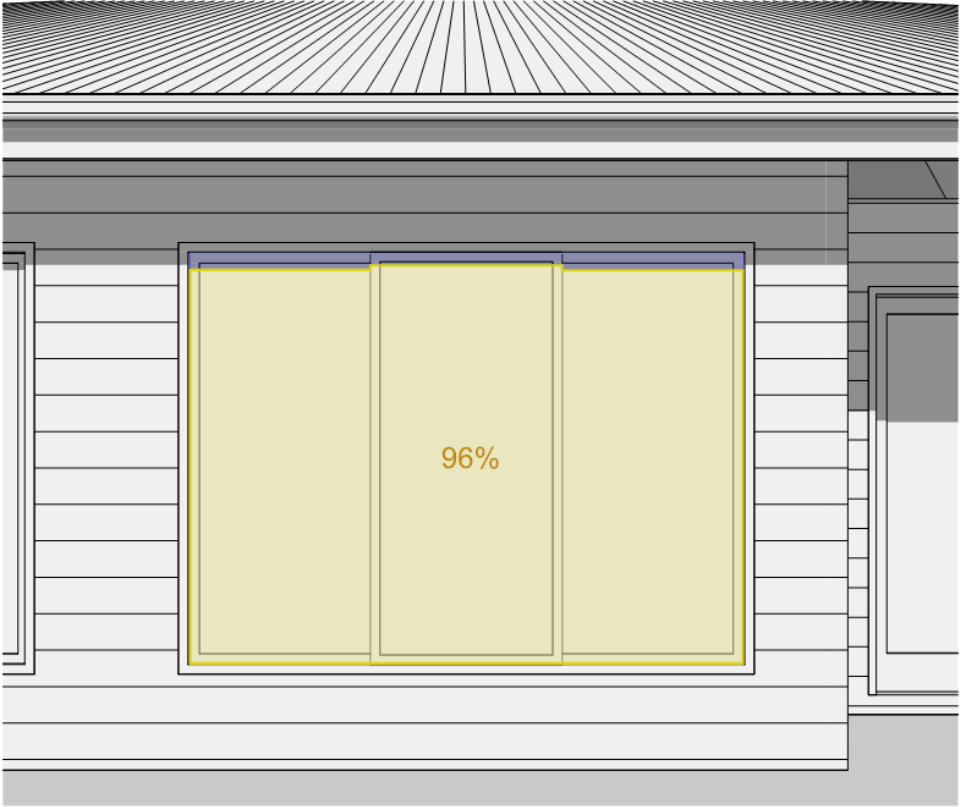
DWELLING 1 - SOLAR ACCESS CALCULATIONS

SUNLIGHT MUST BE PROVIDED TO AT LEAST 75% OF NORTH-FACING LIVING-AREA WINDOWS WITHIN THE DEVELOPMENT FOR A MINIMUM OF 4 HOURS ON 21 JUNE

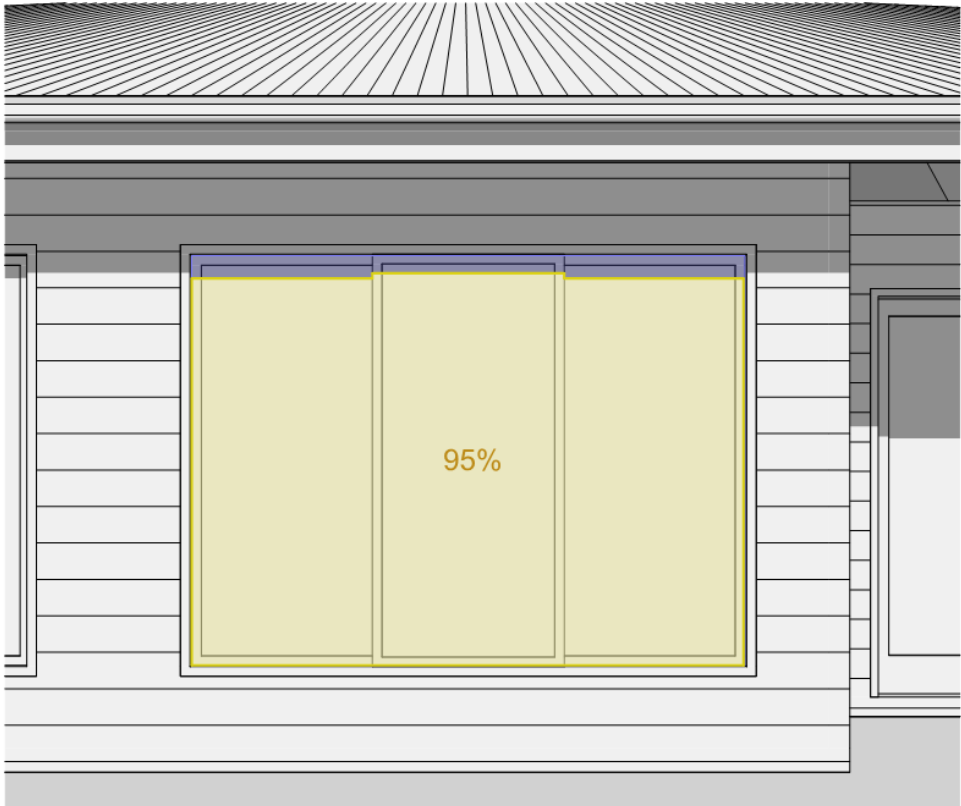




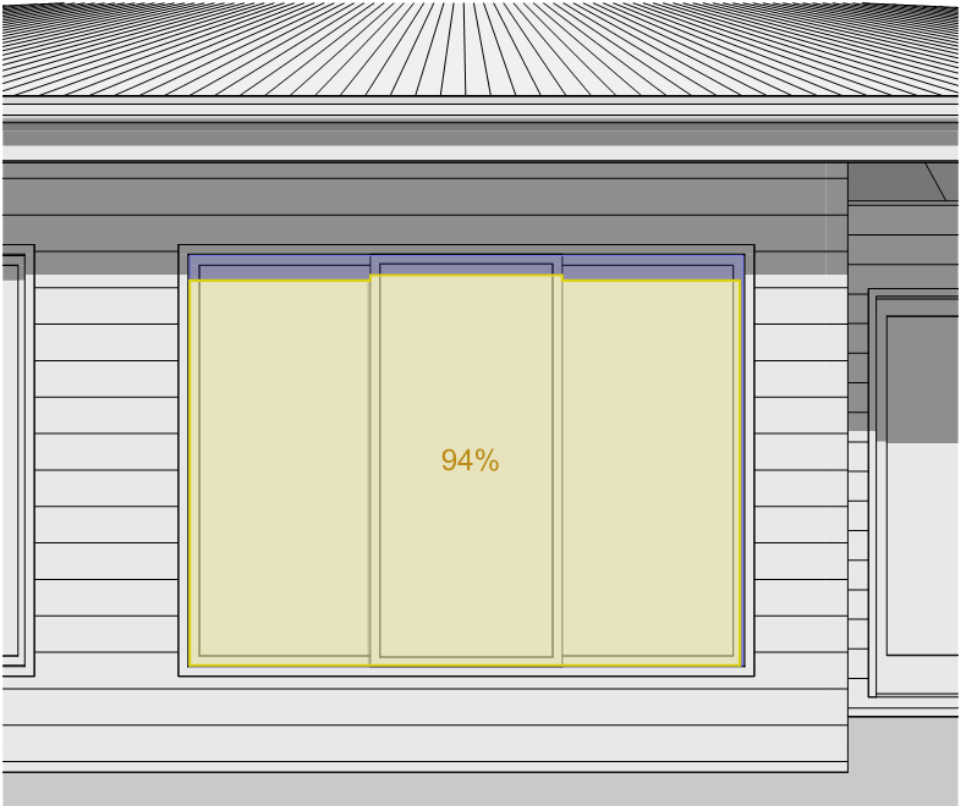
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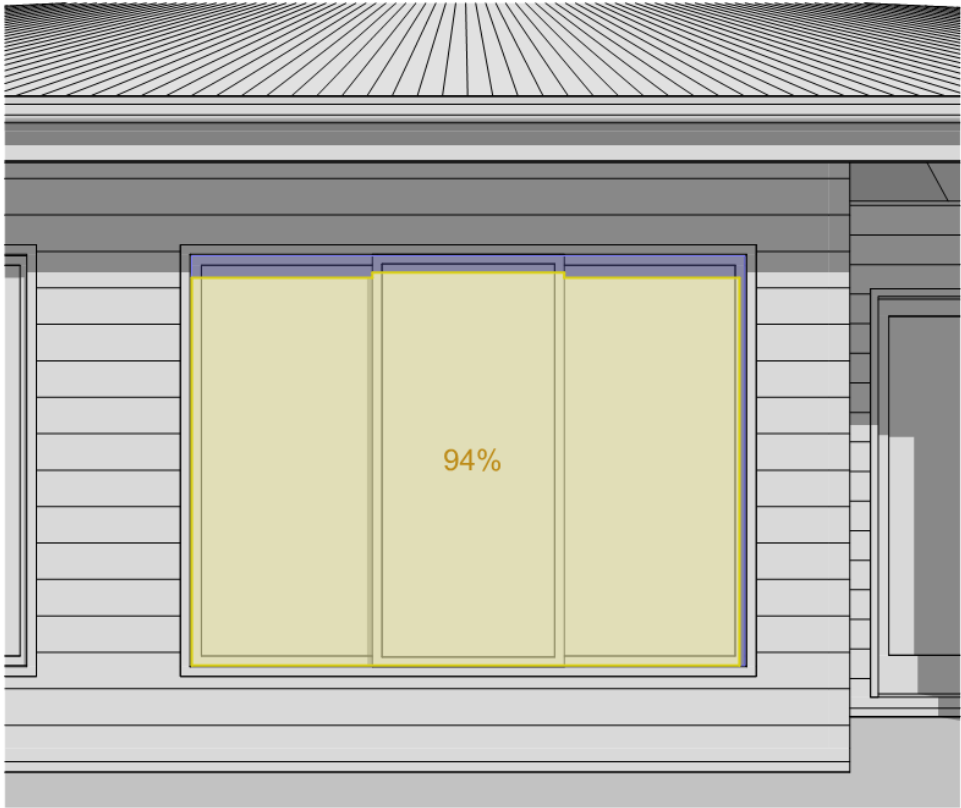
21 JUNE 11AM



21 JUNE 12PM



21 JUNE 1PM



21 JUNE 2PM

DWELLING 2 - SOLAR ACCESS CALCULATIONS

SUNLIGHT MUST BE PROVIDED TO AT LEAST 75% OF NORTH-FACING LIVING-AREA WINDOWS WITHIN THE DEVELOPMENT FOR A MINIMUM OF 4 HOURS ON 21 JUNE






WINDOWS, POSTS, GUTTERS, PAINTED SLAB
EDGE: DULUX NATURAL WHITE / COLORBOND
SURFMIST

ROOF: COLORBOND 'SHALE GREY'
CORRUGATED SHEETING

WALLS: WEATHERBOARD CLADDING IN
DULUX LIME WHITE
DOOR: DULUX JADE BLUE

VIEW 01






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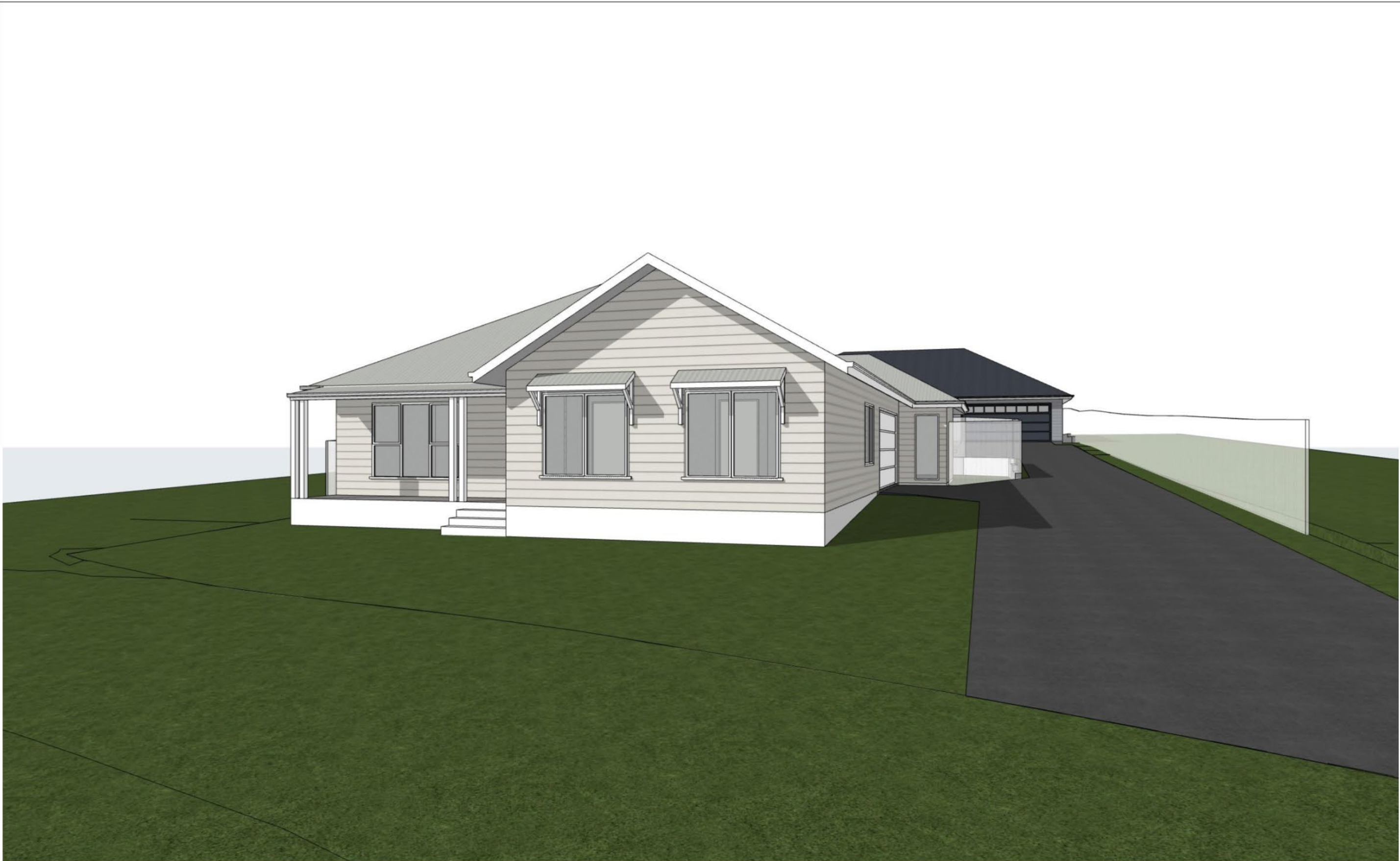
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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Project: PROPOSED 2 x DWELLINGS 24 KNOX PLACE MILLTHORPE NSW 2798		Job No. 24-031	
Title: VIEWS		Dwg No. 17	
Client: B. NORTH		Drawings in set: 19	
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VIEW 02



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							Dwg No. 18	Issue.
			No.	Description	Date		Title. VIEWS	Drawings in set: 19
			Amendments					
			Scale	@A3	Drawn			
			Client. B. NORTH	© - Bassmann Drafting Services				



POSTS, GUTTERS, FASCIA: DULUX NATURAL WHITE / COLORBOND SURFMIST

ROOF: COLORBOND IRONSTONE CORRUGATED SHEETING
GARAGE DOOR, WINDOWS & DOORS: IRONSTONE

WALLS: WEATHERBOARD CLADDING IN DULUX FLOODED GUM QUARTER

PAINTED DLAB EDGE: DULUX/COLORBOND BASALT


VIEW 03





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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

No.	Description	Date
Amendments		
Scale	Drawn	Date
@A3	TH	1/10/2024

Project: PROPOSED 2 x DWELLINGS
24 KNOX PLACE
MILLTHORPE NSW 2798

Job No. 24-031

Dwg No. 19

Issue:

Title: VIEWS

Client: B. NORTH

Drawings in set: 19

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